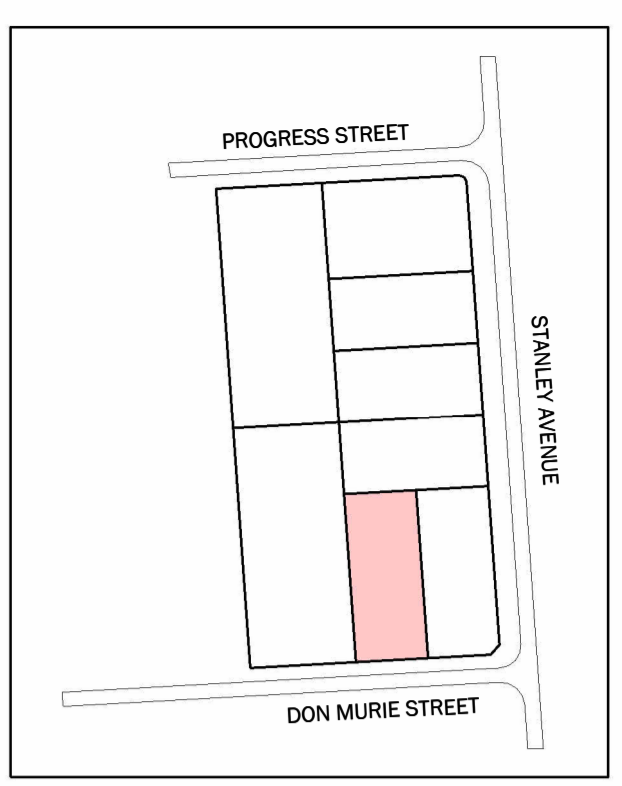
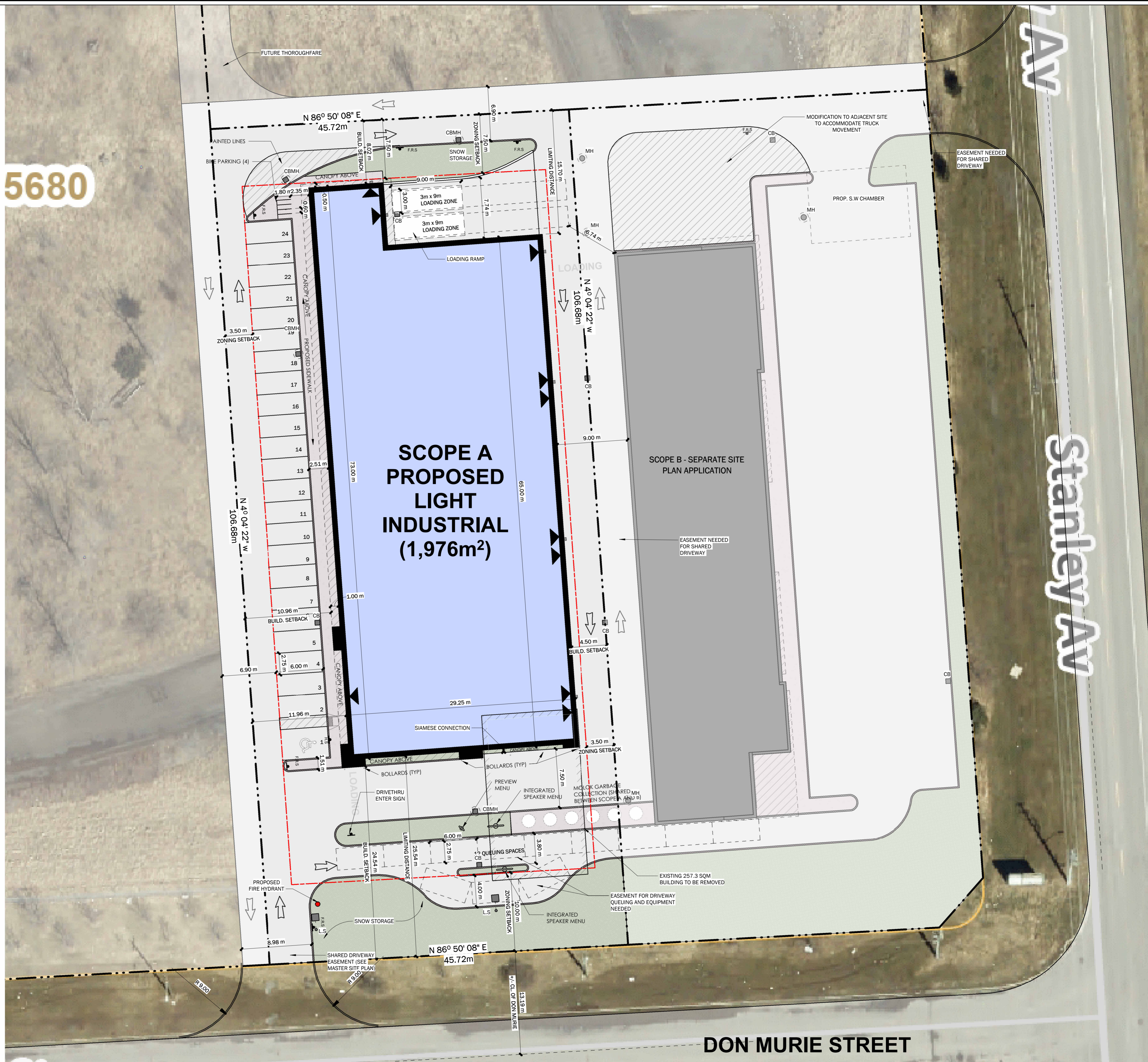


**5680 DON MURIE STREET, NIAGARA FALLS, ONTARIO
ZONING CHART - LIGHT INDUSTRIAL BUILDING**

PROVISION	REQUIREMENT	PROPOSAL	COMPLY
MIN. LOT FRONTAGE	30 m	45.72m	YES
MIN. LOT AREA	2000 m ²	4876.8 m ²	YES
MIN. FRONT YARD DEPTH	10 m + 13 m FROM CL. OF DON MURIE STREET	24.5 m + 13.19 m FROM CL. OF DON MURIE STREET	YES
MIN. INTERIOR SIDE YARD WIDTH	3.5 m	GREATER THAN 3.5 m	YES
MIN. EXTERIOR SIDE YARD WIDTH	7.5 m	N/A	N/A
MIN. REAR YARD DEPTH WHERE THE REAR LOT LINE ABUTS A RESIDENTIAL ZONE	15 m	N/A	N/A
MIN. REAR YARD DEPTH WHERE THE REAR LOT LINE DOES NOT ABUT A RESIDENTIAL ZONE	7.5 m	GREATER THAN 7.5 m	YES
MAX. HEIGHT OF BUILDING OR STRUCTURES	12 m	10.96 m	YES
MINIMUM HEIGHT OF EXTERIOR WALLS - MINIMUM VERTICAL HEIGHT OF EACH EXTERIOR WALL OF ANY SUCH BUILDING OR STRUCTURE	2.5 METRES ABOVE THE ELEVATION OF THE FINISHED GROUND LEVEL AT THE MID-POINT OF THE SUBJECT WALL	4.53 m	YES
MAX. LOT COVERAGE	70%	42.9% 2,096.9 m ²	YES
MIN. LANDSCAPED OPEN SPACE FOR INTERIOR LOT	67% OF THE REQUIRED FRONT YARD	73.6%	YES
MIN. LANDSCAPED OPEN SPACE FOR CORNER LOT	67% OF THE REQUIRED FRONT YARD AND 67% OF THE REQUIRED EXTERIOR SIDE YARD	N/A	N/A
PARKING AND ACCESS REQUIREMENTS	WAREHOUSE: 1 PARKING SPACE FOR EACH 90 SQUARE METRES IN ACCORDANCE WITH SECTION 4.19.1	24 PARKING SPACES 1 BARRIER FREE PARKING PROVIDED (1 REQUIRED)	YES
MIN. PARKING STALL WIDTH	2.75 m	2.75 m	YES
MIN. PARKING STALL LENGTH	6 m	6 m	YES
MANEUVERING AISLE WIDTH	6.3m	6.9 m	YES
LOADING AREA REQUIREMENTS	IN ACCORDANCE WITH 4.20.1 1. LOADING SPACE 3 M X 9 M	2 LOADING SPACES	YES
PROPERTY ABUTTING A RAILWAY	-	N/A	YES
OUTSIDE STORAGE	-	N/A	YES

5680



SITE LOCATION KEY PLAN

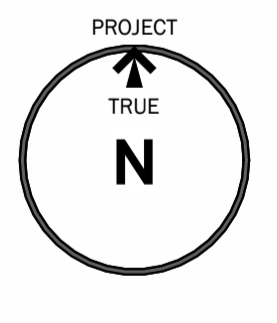
DISCLAIMER:
SITE CONTEXT IS BASED ON DIGITAL IMAGERY FROM NIAGARA NAVIGATOR
ALL CONTRACTORS AND/OR TRADES SHALL VERIFY ALL DIMENSIONS, NOTES, SITE AND REPORT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF THE WORK. THIS DRAWING NOT TO BE SCALED. ALL DRAWINGS, PRINTS AND RELATED DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS STRICTLY FORBIDDEN WITHOUT WRITTEN CONSENT. DRAWINGS TO BE FOR THE PURPOSE FOR WHICH THEY ARE ISSUED.

No.	DATE	DESCRIPTION	BY:
1	NOV 14/24	SS: CLIENT REVIEW	CH
2	FEB 27/2025	ELEVATIONS	JC
3	MAR 13/2025	FLOOR PLAN REV	JC
4	APR 10/2025	SITE PLAN REV/FIRE ROUTE PLAN/CBC MATRIX	JC
5	APR 30/2025	SPA SUBMISSION #1	JC
6	NOV 25/2025	SPA #2	JC
7	DEC 18/2025	SPA #2	JC

COMMISSION:

PROPOSED LIGHT INDUSTRIAL DEVELOPMENT

5680 DON MURIE / 8455 STANLEY AVENUE, NIAGARA FALLS, ONTARIO



A · C · K
architects
STUDIO INC.

Architectural Office:
290 Glendale Ave. St. Catharines, ON, L2T 2L3
905 984 5545

SHEET TITLE:

SITE PLAN - SCOPE A

DRAWN BY:	CH	DRAWING No.:	..SP1
CHECKED BY:	MDA		
DATE ISSUED:	DEC 18/2025		
LATEST REVISION:	9		
PROJECT No.:	2023-201		

PROPOSED SITE PLAN - SCOPE A
1" = 20'-0"

DON MURIE STREET

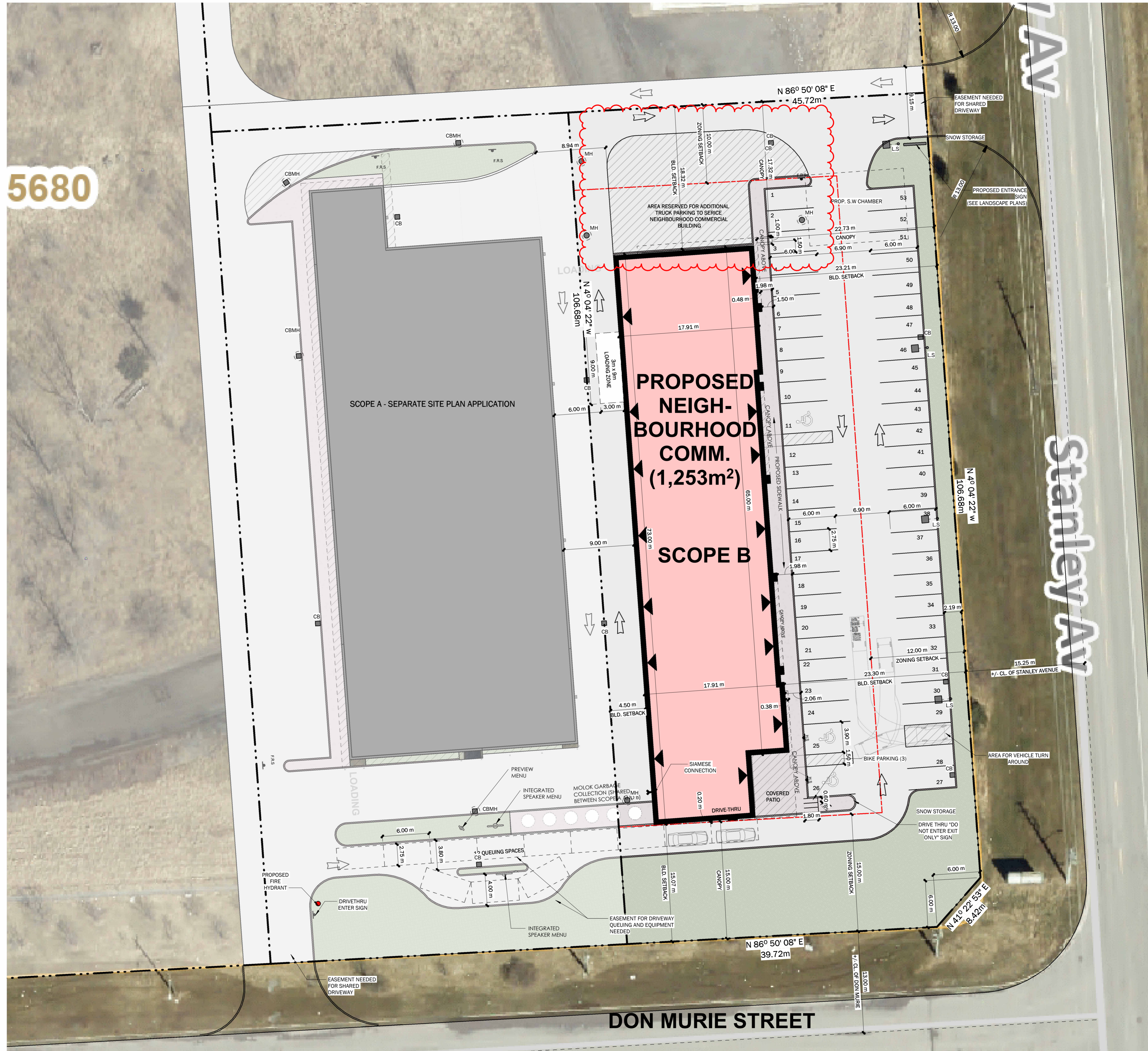
Stanley Av

**5680 DON MURIE STREET, NIAGARA FALLS, ONTARIO
ZONING CHART - NEIGHBOURHOOD COMMERCIAL BLD.**

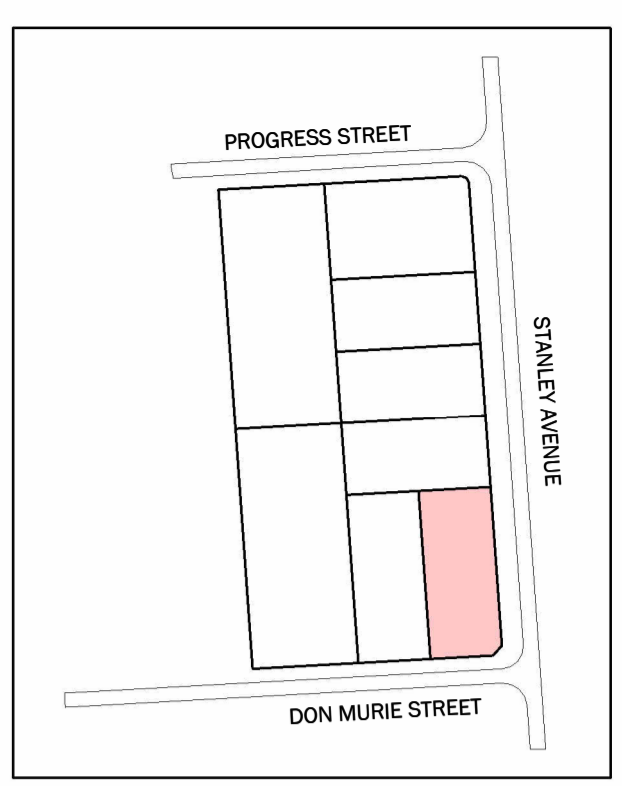
ZONED NEIGHBOURHOOD COMMERCIAL IN ACCORDANCE WITH ZONING BY-LAW NO.79-200

PROVISION	REQUIREMENT	PROPOSAL	COMPLY
MIN. LOT FRONTAGE	30 m	41.15 m	YES
MIN. FRONT YARD DEPTH	15 m + 13 m FROM ORIGINAL CL. OF DON MURIE STREET	15.0 METRES + 13.0 M FROM THE ORIGINAL CENTRELINE OF DON MURIE STREET	YES
MIN. REAR YARD DEPTH	10 m	18.4 m	YES
MIN. INTERIOR SIDE YARD WIDTH (WHERE THE SIDE LOT LINE ABUTS A RESIDENTIAL, INSTITUTIONAL OR OPEN SPACE ZONE)	3 m	N/A	N/A
MIN. INTERIOR SIDE YARD WIDTH (WHERE THE SIDE LOT LINE DOES NOT ABUT A RESIDENTIAL, INSTITUTIONAL OR OPEN SPACE ZONE)	NONE REQUIRED	4.50 m	YES
MIN. EXTERIOR SIDE YARD WIDTH	12 m + 15.25 m FROM THE CENTRELINE OF STANLEY AVENUE	23.2 m + 15.25 m FROM THE CENTRELINE OF STANLEY AVENUE	YES
MAX. LOT COVERAGE	40%	1.333 / 4.858.8 = 27.43%	YES
MAX. HEIGHT OF BUILDING OR STRUCTURES	8 m	6.0 m	YES
MAX. FLOOR AREA	230 m ² FOR ANY PERMITTED USE DESCRIBED IN CLAUSE A-J IN SECTION 8.1.1	MAX 230 m ² 1253 m ² / 7 UNITS = 179 m ²	YES
PARKING AND ACCESS REQUIREMENTS IN ACCORDANCE WITH SECTION 4.19.1	1 PARKING SPACE FOR EACH 25 SQUARE METRES OF FLOOR AREA FLOOR AREA 1,253 m ² / 25 m ² = 50 PARKING SPACES PATIO 42.1m ² / 25 m ² = 2 PARKING SPACES	53 PARKING SPACES 3 BARRIER FREE PARKING PROVIDED (3 REQUIRED)	YES
MIN. PARKING STALL WIDTH	2.75 m	2.75 m	YES
MIN. PARKING STALL LENGTH	6 m	6 m	YES
MANEUVERING AISLE WIDTH	6.9 m	6.9 m	YES
LOADING AREA REQUIREMENTS	IN ACCORDANCE WITH 4.20.1 1 LOADING SPACE 3 M X 9 M	1 LOADING SPACE	YES

5680



PROPOSED SITE PLAN - SCOPE B
1" = 20'-0"



SITE LOCATION KEY PLAN

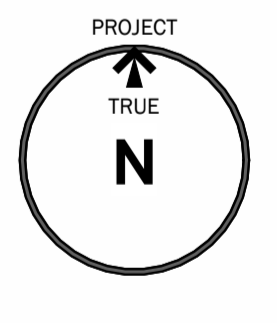
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4	APR 10/2025	SITE PLAN REV/FIRE ROUTE PLAN/CBC MATRIX	JC
5	APR 30/2025	SPA SUBMISSION #1	JC
6	JULY 7/2025	REV SITE PLAN	JC
7	NOV 25/2025	SPA #2	JC
10	JAN 8/2026	SITE A+ B SITE REVISION	JC

COMMISSION:

PROPOSED NEIGHBOURHOOD COMMERCIAL DEVELOPMENT

5680 DON MURIE / 8455 STANLEY AVENUE, NIAGARA FALLS, ONTARIO



A · C · K
architects
STUDIO INC.

Architectural Office:
290 Glendale Ave. St. Catharines, ON, L2T 2L3
905 984 5545

SHEET TITLE:

SITE PLAN - SCOPE B

DRAWN BY:	CH	DRAWING No.:	.SP1
CHECKED BY:	MDA		
DATE ISSUED:	JAN 8/2026		
LATEST REVISION:	10		
PROJECT No.:	2023-201		