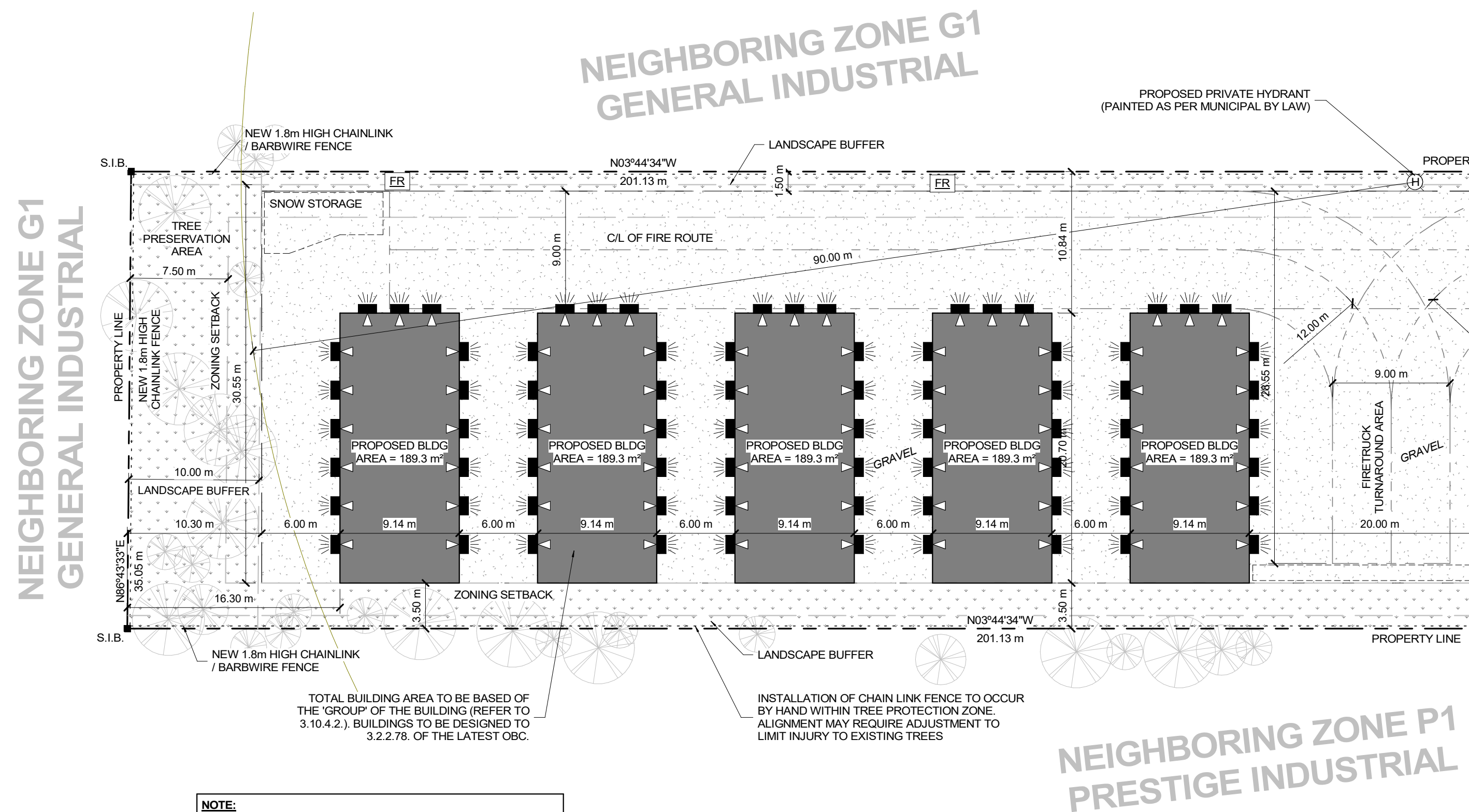
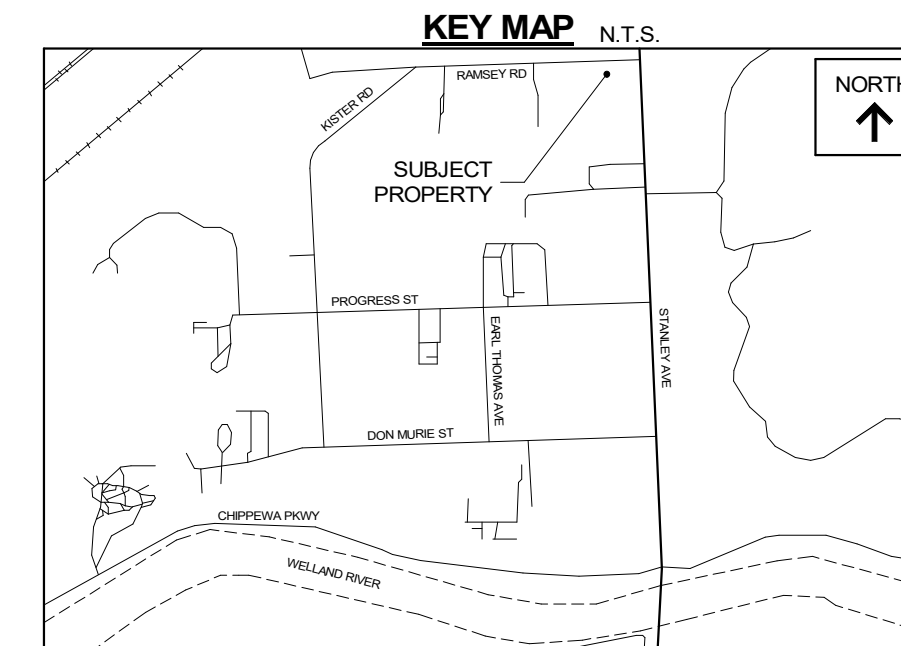


**NOTES:**  
PLEASE READ NOTE PAGE AT BEGINNING OF DRAWING SET FOR NOTES REGARDING THIS PROJECT

1. 2025.04.24 ISSUED FOR SITE PLAN APPROVAL  
NO. DATE DESCRIPTION

**SITE INFORMATION:**  
1. **LEGAL DESCRIPTION:**  
PART OF LOT 218  
PARCEL ID: 348763  
GEOGRAPHIC TOWNSHIP OF NIAGARA FALLS  
TOWNSHIP OF STAMFORD  
2. **OFFICIAL PLAN:**  
5584-5594 - DESIGNATION  
(REFER TO APPLICABLE LAND USE PLANNING AND DESIGNATION FOR DETAILS)  
3. **ZONING:**  
G1-55 DESIGNATION, GENERAL INDUSTRIAL  
(REFER TO APPLICABLE AHJ ZONING BY-LAW)  
4. LEGAL AND TOPOGRAPHICAL SURVEY INFORMATION PROVIDED BY TBD.



TOTAL BUILDING AREA TO BE BASED OF THE 'GROUP' OF THE BUILDING (REFER TO 3.10.4.2). BUILDINGS TO BE DESIGNED TO 3.2.2.78. OF THE LATEST OBC.

INSTALLATION OF CHAIN LINK FENCE TO OCCUR BY HAND WITHIN TREE PROTECTION ZONE. ALIGNMENT MAY REQUIRE ADJUSTMENT TO LIMIT INJURY TO EXISTING TREES

**NOTE:**  
AN UNDERGROUND CULVERT SYSTEM WITH INTEGRATED STORMWATER STORAGE TANKS, DESIGNED FOR TEMPORARY DETENTION AND CONTROLLED RELEASE OF STORMWATER RUNOFF, INCLUDING SEDIMENT FILTRATION AND OVERFLOW CONTROL, WILL BE PROVIDED ALONG WITH THE SITE PLAN FOR SITE PLAN APPROVAL.

1 SITE PLAN LAYOUT  
A1.0 SCALE: 1:300

**SITE LEGEND**

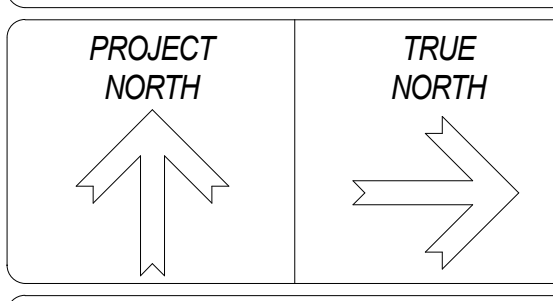
- LOADING SPACE
- OVERHEAD DOOR
- PARKING SPACE TAGS
- EXTERIOR BUILDING LIGHT
- BARRIER FREE PARKING SPACE
- B.F. PARKING SIGN
- DECIDUOUS TREE / PLANTING
- FIRE ROUTE SIGN
- CONIFEROUS TREE / PLANTING
- PROPERTY LINE
- FIRE HYDRANT
- ZONING SETBACKS
- HYDRO POLL
- FIRE TRUCK ROUTE
- DRILLED WELL
- FIRE HOSE LINE
- CATCH BASIN
- FENCE LINE
- EXTERIOR DOOR / B.F. ENTRANCE
- UNOBSTRUCTED FIRE FIGHTER ACCESS DOOR/WINDOW/ PANEL

ZONING BY-LAW INFORMATION TABLE (G1-55)				
	ZONING BY-LAW	EXISTING	PROPOSED	CONFORMS
LOT AREA (MIN.)	4000 m <sup>2</sup>	7,114 m <sup>2</sup> (1.76 ac)	7,114 m <sup>2</sup> (1.76 ac)	YES
LOT FRONTAGE (MIN.)	30 m	36.5 m	36.5 m	YES
FRONT YARD SETBACK	10m + 13m from c/l road	10 m + 13 m from the original c/l of Ramsey Rd to the ex. dwelling	10 m + 13 m from the original c/l of Ramsey Rd to the ex. dwelling	Legal non-conforming dwelling. YES
INT. SIDE YARD SETBACK	3.5 m	3.5 m (East and West)	3.5 m (East and West)	YES
EXT. SIDE YARD SETBACK	7.5 m	N/A	N/A	N/A
REAR YARD SETBACK	7.5 m	148.86 m	16.3 m	YES
LOT DEPTH (MIN.)	NO PROVISIONS	201.13 m	201.13 m	YES
BUILDING FLOOR AREA	NO PROVISIONS	220.8 m <sup>2</sup> (2376.1 ft <sup>2</sup> ) EXISTING DWELLING AND BARN	1779.5 m <sup>2</sup> (19,154 ft <sup>2</sup> ) (PROPOSED STORAGE UNIT AREAS ONLY)	YES
GROSS FLOOR AREA	NO PROVISIONS	220.8 m <sup>2</sup> (2376.1 ft <sup>2</sup> ) EXISTING DWELLING AND BARN	1779.5 m <sup>2</sup> (19,154 ft <sup>2</sup> ) (PROPOSED STORAGE UNIT AREAS ONLY)	YES
LOT COVERAGE (ALL BLDGS)	70% (MAX.)	3.1%	25%	YES
BUILDING HEIGHT (MAX.)	20 m	5 m	5 m	YES
NUMBER OF PARKING SPACES	SEE 4.19.1 OF ZBL	REFER TO CALC'S	REFER TO CALC'S	YES
BARRIER FREE SPACES	SEE 4.19 OF ZBL	REFER TO CALC'S	REFER TO CALC'S	YES
NUMBER OF LOADING SPACES	SEE 4.20.1 OF ZBL	REFER TO CALC'S	REFER TO CALC'S	YES
LANDSCAPED AREA	50% OF FRONT YARD	80%	53.5%	YES
GRANULAR AREA	NO PROVISIONS	130.65 m <sup>2</sup> +/-	3627 m <sup>2</sup> +/-	N/A
PAVED AREA	NO PROVISIONS	N/A	N/A	N/A
MIN. HEIGHT OF EXT WALLS	2.5 m	2.75 m	2.75 m	N/A

**NOTE:**  
1. THIS SITE SKETCH IS PROVIDED FOR REPRESENTATION PURPOSES AND IS NOT TO BE SCALED. THE SITE SKETCH HAS BEEN GENERATED USING ONLINE MAPPING INFORMATION. STONECREST ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE PROVIDED INFORMATION AND THIS SCHEMATIC IS TO BE USED TO PROVIDE AN APPROXIMATE LOCATION OF THE PROPOSED STRUCTURES FOR VISUAL PURPOSES ONLY.  
2. ADDITIONAL THIRD PARTIES HAVING JURISDICTION ON THE PROPERTY MAY AFFECT FINAL BUILDING PLACEMENT AND ARE TO BE CONSULTED PRIOR TO CONSTRUCTION. SUCH PARTIES OR STUDIES MAY INCLUDE (BUT ARE NOT LIMITED TO): CONSERVATION AUTHORITIES, SERVICES PROVIDERS, MEDIA, MTO, ENVIRONMENTAL IMPACT AGENCIES, GEO-TECHNICAL (SLOPE STABILITY), EROSION/ SEDIMENT, GROUND WATER IMPACT, WELL HEAD PROTECTION, NOISE/ VIBRATION, TRAFFIC IMPACT, FUNCTIONAL SERVICES AND COLOUR.  
3. IT IS THE OWNERS' / GC RESPONSIBILITY TO CALL FOR EXISTING SERVICE LOCATES PRIOR TO ANY CONSTRUCTION.  
4. AN UNDERGROUND CULVERT SYSTEM WITH INTEGRATED STORMWATER STORAGE TANKS, DESIGNED FOR TEMPORARY DETENTION AND CONTROLLED RELEASE OF STORMWATER RUNOFF, INCLUDING SEDIMENT FILTRATION AND OVERFLOW CONTROL, WILL BE PROVIDED ALONG WITH THE SITE PLAN FOR SITE PLAN APPROVAL.  
5. REMOVAL OF BOUNDARY TREES AND TREES ON ADJACENT PROPERTIES IS REQUIRED PRIOR TO INSTALLATION OF TREE PROTECTION FENCING TO ALLOW FOR ACCESS. THESE TREES ARE TO BE CUT BY HAND, FELLED TOWARDS TO SUBJECT PROPERTY. NO OTHER TREES ON ADJACENT PROPERTIES ARE TO BE IMPACTED BY THIS WORK.

**SITE PLAN NOTES:**  
1. FIRE ROUTE ACCESS REQUIRES FIRE PERSONNEL ACCESS AS REQUIRED BY OBC.  
2. FIRE ROUTE TO BE POSTED AND DESIGNATED UNDER MUNICIPAL BY-LAW DESIGN REQUIREMENTS AS FOLLOWS:  
• MIN. 6m WIDE, 12m CENTRE LINE TURNING RADIUS AND MAX. 8% SLOPE  
3. FIRE ROUTE SIGNS MUST BE STANDARD OF APPLICABLE MUNICIPALITY AND ARE TO BE PLACED AS FOLLOWS:  
• INTERVALS OF NOT LESS THAN 15.2m (50')  
• NOT MORE THAN 45.7m (150') ALONG THE DESIGNATED FIRE ROUTE  
• AT A HEIGHT OF NOT LESS THAN 1.8m (6')  
4. OUTDOOR GARAGE / RECYCLING AREA TO BE SCREENED AS PER ZONING BY LAWS.  
5. ANY SITE FENCING TO BE CONFIRMED WITH OWNER PRIOR TO CONSTRUCTION.  
6. YARD LIGHTING LOCATION AND ORIENTATION TO BE INSTALLED TO NOT INTERFERE WITH TRAFFIC ON COUNTY ROADS PLUS MINIMIZE INTERFERENCE ON NEIGHBORING PROPERTIES.  
7. ALL STORAGE BUILDINGS ON-SITE ARE UNDER 6000m<sup>2</sup> AND ARE DEEMED AS PART 9 BUILDINGS AS PER 1.3.3.3. OF THE LATEST OBC  
8. TOWNSHIP TO BE NOTIFIED AND WORK ON-SITE TO BE HALTED IF ANY ARCHAEOLOGICAL RESOURCES ARE FOUND ON-SITE DURING EXCAVATION / CONSTRUCTION.

**NOTE:**  
PARKING REQUIREMENTS SUBJECT TO MINOR VARIANCE APPROVAL.  
**ZONING:**  
G1-55 - GENERAL INDUSTRIAL ZONE (REFER TO ZONING INFO TABLE FOR DETAILS)  
**OFF-STREET PARKING:** (AS PER ZBL SECTION 4.19.1)  
**EXISTING & PROPOSED:**  
EXISTING DWELLING CONVERTED TO OFFICE SPACE = 83.3m<sup>2</sup> x 1 SPACE / 40m<sup>2</sup> = 2 SPACES  
TOTAL SPACES REQUIRED = 2 SPACES  
TOTAL SPACES PROVIDED = 2 SPACES  
**PROPOSED:**  
PROPOSED SELF STORAGE UNIT BUILDINGS:  
WAREHOUSE = 1779.5 m<sup>2</sup> x 1 SPACE / 90m<sup>2</sup> = 20 SPACES  
TOTAL SPACES PROVIDED = 5 SPACES  
**BARRIER FREE SPACES**  
= 13 - 100 SPACES REQUIRED 4% OF THE TOTAL NUMBER TO BE B.F.  
4% OF 21 SPACES = 0.84 THEREFORE 1 BARRIER FREE SPACES IS REQUIRED, 1 PROVIDED.  
**MINOR VARIANCE REQUIRED FOR PARKING.**  
**OFF-STREET LOADING SPACES:** (AS PER ZBL SECTION 4.20.1)  
**REQUIRED LOADING SPACES:** (UP TO AND INCLUDING 300m<sup>2</sup>)  
REQUIRED = 1 SPACES  
PROPOSED = 1 SPACES



PROFESSIONAL ENGINEER'S SEAL



CONTRACTOR TO CHECK ALL DIMENSIONS AND ELEVATIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK  
DO NOT SCALE THE DRAWINGS

CLIENT: HECTOR JIBBISON

LOCATION: 5584 RAMSEY ROAD, NIAGARA FALLS, ON.

PROJECT NAME: PROPOSED STORAGE UNITS

PROJECT STATUS AND VERSION: SITE PLAN APPROVAL DRAWINGS

DESIGNED BY: ZB PRINT DATE: APRIL 24, 2025

PAGE DESCRIPTION: SITE PLAN

SCALE: AS NOTED

FILE: 8805  
PAGE NUMBER: