

KEY PLAN
SCALE: NOT TO SCALE

SURVEY NOTE:

BOUNDARIES, TOPOGRAPHIC, AND EXISTING SITE FEATURES SURVEY: 23-16-222-00-POS-TOPO
DRAWING: J.D. Barnes Limited, 4318 Portage Road Unit 2, Niagara Falls Ontario L2E 6A4

SITE PLAN
SCALE: 1:300

LEGEND

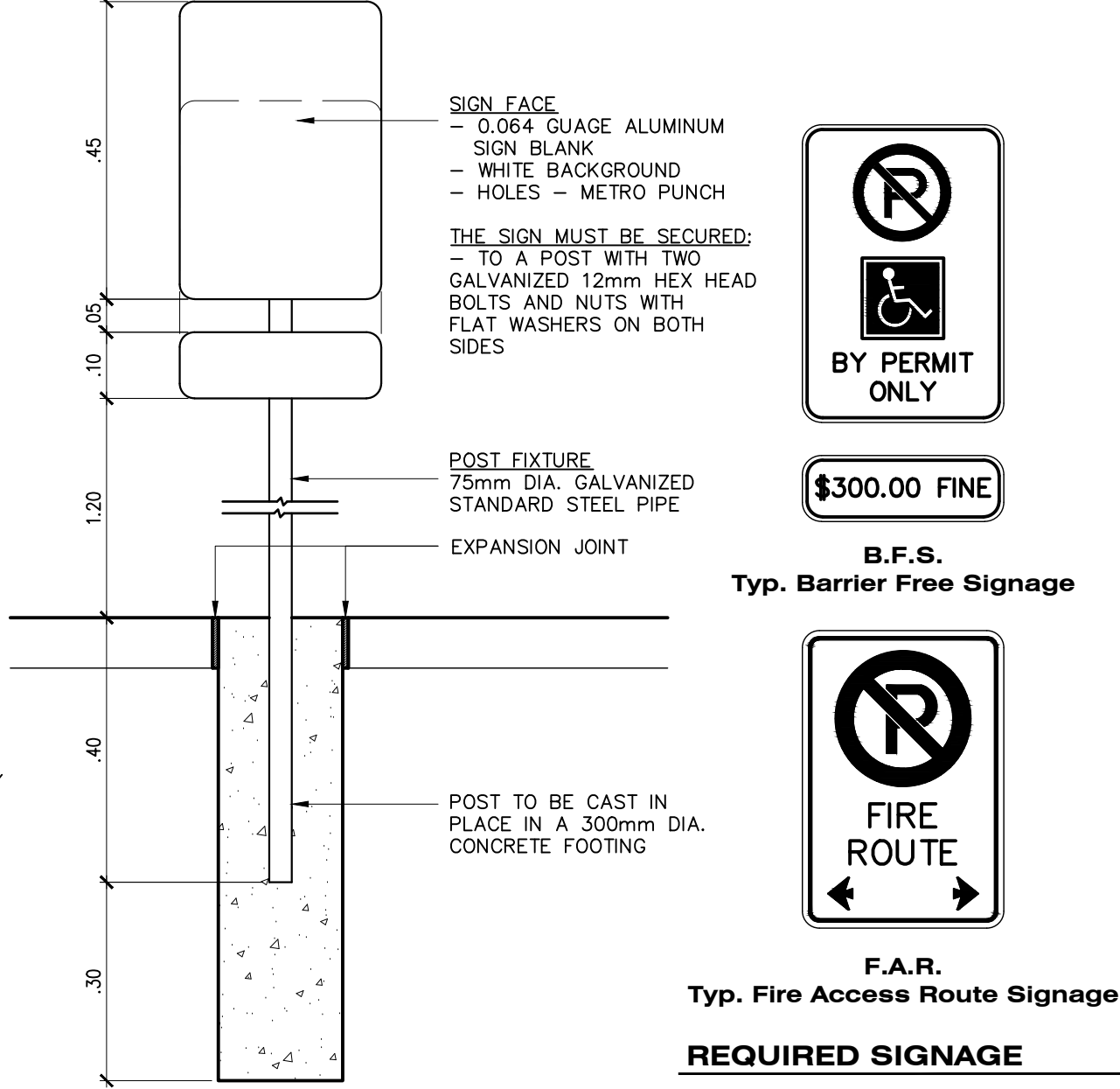
	EXISTING SINGLE STORY BUILDING		DECIDUOUS
	PROPOSED SINGLE STORY BUILDING		EXISTING TREE TO REMAIN
	LINE OF PROPOSED ROOF ABOVE		EXISTING TREE TO BE REMOVED
	NEW ASPHALT SURFACE		TREE TO BE PLANTED
	EXISTING ASPHALT SURFACE		SHRUBS
	CONC. SURFACE		PARKING STALL NUMBER
	NOTE: ALL AREAS NOT HATCHED TO BE NEW OR EXISTING GRASS		LAMP STANDARD
	ALL SITE WORKS NEW UNLESS NOTED OTHERWISE (i.e. 'EXISTING')		

SIGNAGE NOTES:

ALL PARKING SPACES FOR BARRIER-FREE SHALL BE INDICATED WITH TYPICAL BARRIER FREE SIGNAGE CENTERED AT EACH PARKING SPACE - THESE SIGNS SHALL BE SUPPLIED & INSTALLED BY THE GENERAL CONTRACTOR THE SIGN SHALL BE MOUNTED AT A HEIGHT OF 1-1.5 METERS FROM TOP OF CURB TO BOTTOM OF SIGN & CENTERED WITHIN THE PARKING SPACE.

THE GENERAL CONTRACTOR SHALL SUPPLY ALL REQUIRED FIRE ROUTE SIGNS. THESE SIGNS SHALL BE POSTED IN COMPLIANCE WITH THE HIGHWAY TRAFFIC ACT AND OR THE ONTARIO TRAFFIC MANUAL WITH A MAX. SPACING OF 30M

ALL STOP, BARRIER FREE, STAFF PARKING, NO OVERTIGHT PARKING AND ONE WAY SIGNS SHALL BE SUPPLIED & INSTALLED BY THE GENERAL CONTRACTOR. ALL SIGNS SHALL CONFORM TO THE ONTARIO TRAFFIC MANUAL AND HIGHWAY TRAFFIC ACT.



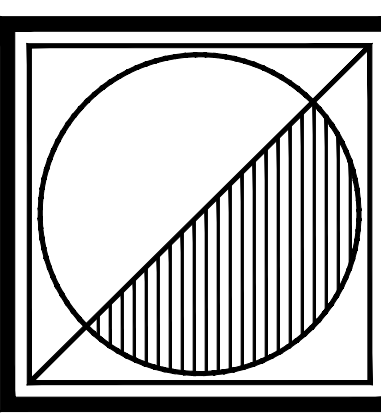
SITE STATISTICS

LOT COVERAGE	LOT AREA
BUILDING GROUND COVER	16,083.08 m ²
EXISTING WAREHOUSE & OFFICES	2,913.98 m ²
PROPOSED ADDITION	1,496.68 m ²
TOTAL	4,410.66 m ²
ASPHALT AREA	5,122.36 m ²
LANDSCAPED AREA	6,550.06 m ²

PARKING REQUIREMENTS (per 100.00 m ²)	ADDITION
WAREHOUSE	0.6 Parking Spaces per 100m ² G.F.A.
OFFICES	3.2 Parking Spaces per 100m ² G.F.A.
TOTAL PARKING REQUIRED	43.96 Spaces
TOTAL PROVIDED ACROSS SITE	77.59 Spaces
REQUIRED DESIGNATED ACCESSIBLE PARKING (as per City of Niagara Falls website for 13 to 100 spaces)	4% or 2.52 Spaces, Round up to 3 Spaces

BUILDING ANALYSIS	ADDITION
PROJECT DESCRIPTION	GROUP F, DIVISION 2
MAJOR OCCUPANCY	4,410.66 m ²
BUILDING AREA	4,410.66 m ²
GROSS FLOOR AREA	1 ABOVE GRADE, NO BASEMENT
NO. OF STOREYS	5.8 m
HEIGHT OF BUILDING	NO
FIRE ALARM REQUIRED	NO
STANDPIPE REQUIRED	NO
TYPE OF CONSTRUCTION	NON-COMBUSTIBLE
TOTAL OCCUPANCY	172
BARRIER FREE DESIGN	YES
HAZARDOUS SUBSTANCE	NO
BUILDING CLASSIFICATION	3.2.2.70 GROUP F, DIVISION 2, UP TO 4 STOREYS
FACES NO. OF STREETS	2 STOREYS

PARKING PROVIDED	REQUIRED	PROVIDED
STANDARD PARKING SPACES PROVIDED	75	4.27m
BARRIER FREE SPACES PROVIDED	3	2.5m



Peter J. Lesdow
architect



SITE PLAN & STATISTICS

DATE	REVISIONS
May 26 / 25	MINOR WORK - ADDED INFORMATION
May 27 / 25	SITE PLAN AGREEMENT SECOND SUBMISSION
Nov. 12 / 25	MINOR WORK - APPLICATION
Jan. 27 / 26	MINOR WORK - APPLICATION
Apr. 29 / 26	MINOR WORK - CLARIFICATIONS

PANORAMIC PROPERTIES INDUSTRIAL PLAZA
8485 Montrose Road, Ontario
Niagara Falls, Ontario

DATE: Nov. 11 / 23
SCALE: AS NOTED
DRAWN BY: MRW
CHECK BY: PJL

21 - 05

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