

Urban Design Brief
Official Plan and Zoning By-law Amendment

7800 Lundy's Lane
Niagara Falls, ON

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UCC Project No. 25009

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PREFACE

This Urban Design Brief (Brief) has been prepared by Upper Canada Consultants (UCC) on behalf of the owner the 7800 Lundy's Lane in the City of Niagara Falls (the subject lands).

The applications propose the conversion of the two (2) existing motel buildings on the property for 71 permanent residential dwelling units, and the construction of a new 6-storey building containing 66 residential apartment units, and 130m² of commercial space.

This Brief has been prepared to provide design overview and rationale for the proposed development in accordance with the applicable Urban Design policies in the City's Official Plan, and other land use documents. This Brief has been prepared in general accordance with the City's Terms of Reference for Urban Design Briefs.

VISION AND PRINCIPLES

The applications propose the adaptive reuse of the existing building and property to provide purpose-built affordable rental housing. The development builds on the site's existing characteristics while enhancing both the design and functionality of the property. The existing structure will be renovated to accommodate permanent residential units, with selective cosmetic improvements focused on cost-efficiency to ensure continued affordability.

The proposed six-story mixed-use building increases the supply of affordable housing and strengthens the connection with the public realm through the inclusion of commercial uses along the street frontage activate Lundy's Lane, while the building placement and design help screen surface parking from public view.

POLICY CONTEXT

Policy Analysis

Provincial Planning Statement

The subject lands are located within a designated Settlement Area and are also identified as a Strategic Growth Area in the Provincial Planning Statement. Settlement Areas are intended to accommodate growth and development, with Strategic Growth Areas specifically directed to support higher-density forms of intensification in accordance with targets established by the local planning authority.

The Provincial Planning Statement promotes an appropriate range and mix of land uses that efficiently utilize land and existing infrastructure, while supporting active and multi-modal transportation. It also encourages the provision of a range and mix of housing options and densities to meet the needs of current and future residents, including housing that is affordable, accessible, and equitable.

The proposed development is consistent with this policy direction, as it introduces residential and commercial intensification that makes efficient use of land and infrastructure, supports multi-modal transportation options, and contributes to a diversified mix of land uses. The proposal also advances the PPS objective of providing a full range and mix of housing options, including affordable rental housing for low- and moderate-income households.

Niagara Official Plan

The subject lands are located within the Delineated Built-up Area as identified in the Niagara Official Plan. The Plan assigns the City of Niagara Falls a minimum intensification target of 50 percent within the municipality's existing Built-up Areas.

Within Urban Areas, including the Delineated Built-up Area, land uses are directed to support a compact built form and a mix of uses that contribute to the creation of complete communities. These areas are intended to accommodate a diverse range and mix of housing types, unit sizes, and densities to address both current and future market-based and affordable housing needs. The Plan also promotes built

forms, land use patterns, and street configurations that minimize land consumption, support the efficient provision of municipal water and wastewater infrastructure, and reduce long-term servicing costs. Opportunities for intensification, including a mix of residential built forms in appropriate locations, are encouraged where compatibility with surrounding development can be achieved.

The proposed development conforms with the Region's growth management strategy by introducing intensified commercial and residential land uses that make efficient use of land and existing infrastructure, while contributing to a full range of housing options, including affordable rental housing.

Niagara Falls Official Plan

The subject lands are designated Tourist Commercial in the City's Official Plan and are located along the Lundy's Lane intensification corridor.

The Official Plan supports intensification through compact and efficient land use patterns and encourages a mix of land uses, including a range of residential housing options. The Plan also establishes targets for the provision of affordable housing to address identified community needs.

The proposed development introduces a mixed-use commercial and residential project within an identified intensification corridor and contributes to the supply of housing that is affordable for low- and moderate-income households, consistent with the City's Housing Strategy.

An Official Plan Amendment has been submitted to permit an increase in density. The appropriateness of the requested amendment is evaluated in detail in the accompanying Planning Justification Report.

SITE ANALYSIS: OPPORTUNITIES AND CHALLENGES

Site Overview

The lands are municipally addressed as 7800 Lundy's Lane in the City of Niagara Falls and legally addressed as Stamford; Part Lot 140. The subject lands are located on the south side of Lundy's Lane with a lot frontage of 76.19 meters and a total lot area of 0.697 hectares. The lands are rectangular in shape. An aerial view of the subject lands is provided in **Figure 1** below.



Figure 1 - Aerial View of the Subject Lands (Niagara Navigator, 2023 Imagery)

The subject lands are developed with two two-storey motel buildings containing guest rooms, reception, and administrative areas. The buildings are located along the eastern and western property lines, with the central portion of the site occupied by an asphalt surface parking area, an outdoor swimming pool, and landscaped areas. The southwest corner of the property comprises a privately owned vacant open area.

The existing development is characteristic of a mid-century motel layout, with buildings positioned toward the perimeter of the site in a U-shaped configuration that defines an internal courtyard. This courtyard accommodates parking and on-site amenities, including an in-ground swimming pool. The buildings are two storeys in height and feature peaked roofs. Ground-floor units provide direct access to the parking area, while second-storey units are accessed via an open-air mezzanine. The buildings are clad in grey stucco with grey asphalt roofing.

Photos of the existing site are shown in **Figures 2 and 3**.



Figure 2 – The subject lands, viewed along Lundy's Lane towards the west



Figure 3 - The subject lands, viewed along Lundy's Lane towards the east

Area Context

Figure 4 illustrates the subject lands within their surrounding context. The property is located within a commercial corridor centred along Lundy's Lane, beginning approximately at Garner Road. The corridor is anchored at its eastern extent by the outlet mall, with the QEW and hydro canal forming a physical separation between the corridor and lands further east.

The Lundy's Lane corridor is characterized by a concentration of hotels and motels similar to the subject property, along with restaurants and smaller service-commercial uses. Building heights in the immediate area generally range from one to three storeys. Development along the corridor is typically defined by large, street-facing surface parking areas with limited visual buffering. As a result, buildings often have minimal interaction with the pedestrian realm, being set back from the sidewalk behind parking areas. Photographs of the surrounding area are provided in Figures 5 through 9.

The lotting pattern along Lundy's Lane consists of larger and deeper parcels, reflective of the strip commercial development form that characterizes the corridor.

Lands located to the north and south of the corridor are predominantly low-density residential neighbourhoods. Additional nearby land uses include several schools, a church, and the Lundy's Lane Cemetery. Immediately surrounding the subject lands is a commercial plaza to the north, a motel to the east, a sports field associated with an institutional use to the south and a retirement home to the west.

The road network within the study area reflects the historic grid pattern established for Stamford Township. Lundy's Lane forms a continuous approximately one-kilometre block face along original Stamford Township Lot 133 between Kalar Road and McLeod Road, with Beaverdams Road representing the primary interruption to the grid, as it predates the established lot pattern.

The subject lands benefit from strong access to public transportation, providing both local and regional connectivity. The Niagara Region Transit 116/216 routes serve the site, with bus stops located in close proximity. Continuous sidewalks are provided on both sides of Lundy's Lane, supporting pedestrian access to nearby commercial uses, parks and open spaces, and institutional destinations.



Figure 4 - Subject Lands with 400m Radius



Figure 5 – The Lundy's Lane Commercial Corridor is characterized by a large number of motels served by large, street-facing parking areas.



Figure 6 – Typical streetscape along Lundy's Lane showing the visual domination of parking areas



Figure 7 – Landscaping partially mitigates the interface between the public and private realms; however, the development continues to prioritize surface parking over an active and clearly defined street wall.

URBAN DESIGN ANALYSIS

The following section presents the design rationale for the proposed development, comparing it to key urban design principles outlined in the Lundy's Lane Urban Design Guidelines (LLUDG) and the Niagara Region Model Design Guidelines (NRMUDG).

Site Design

Design Overview

The proposed development represents a retrofit to the existing development rather than a complete redevelopment of the site. **Figure 8** provides an overview of the proposed changes.

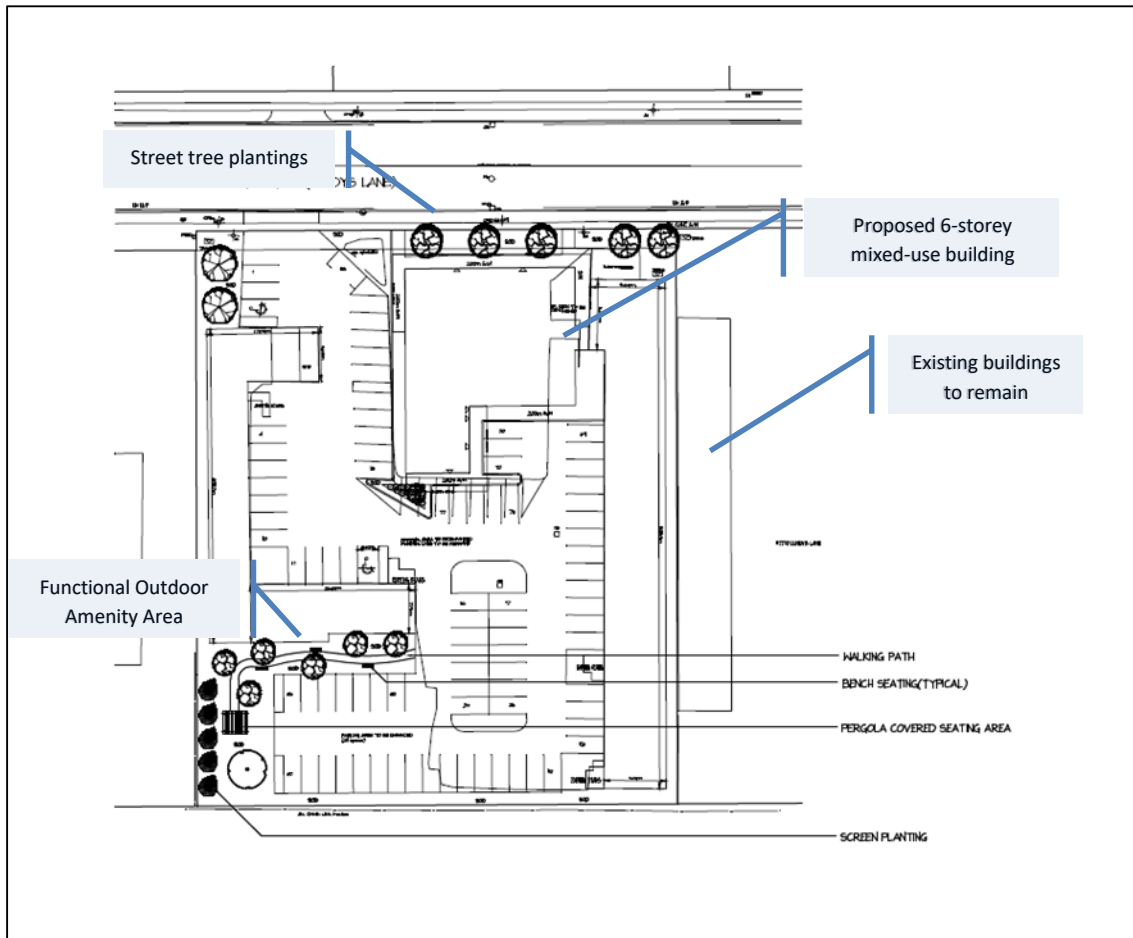


Figure 8 - Proposed Site Plan with Landscaping (Landscape Florida)

The original buildings will be preserved in their original location, with some renovations to make them suitable for permanent residential uses, while minimizing total costs to keep the rental rates as low as possible.

A new 6-storey apartment building is proposed to be constructed in the northern portion of the site, along Lundy's Lane, generally where the in-ground pool is currently located.

The parking area is also proposed to be improved and expanded to ensure functionality, while also accommodating the additional proposed units. The existing parking area is proposed to be re-painted in order to improve functionality by ensuring all of the parking spaces and drive aisles are functional.

Design Analysis

The proposed mixed-use building is oriented and designed to address Lundy's Lane directly, with the primary building frontage located along the street and clearly defined entrances that connect to the public sidewalk. Active commercial and amenity uses are provided along the street-facing ground floor, reinforcing a strong relationship with the pedestrian realm. Awnings along the frontage contribute to a human-scaled street wall and further strengthen the interface between the building and the public realm. The proposed setback allows for weather protection and landscape opportunities while maintaining a clear street-oriented presence.

The building placement allows service areas and the majority of parking to be located at the rear of the site and screened from public view. Vehicular access is consolidated into a single point of ingress and egress, minimizing interruptions to the public sidewalk and supporting pedestrian safety.

The building frontage extends across the majority of the site width, contributing to a continuous street wall along Lundy's Lane. Architectural articulation and material variation are used to provide pedestrian-scaled façades and visual interest. Side and rear elevations visible from the public realm incorporate consistent architectural detailing and window openings to address public views and avoid blank façades.

Barrier-free pedestrian connections are provided between the public sidewalk, building entrances, and rear parking areas. These connections are clearly defined and integrated into the site layout to support safe and efficient pedestrian movement. Overall, the proposed development reinforces the intent of the Lundy's Lane Urban Design Guidelines by prioritizing a strong street presence, minimizing the visual dominance of parking, and contributing to a more pedestrian-oriented and cohesive corridor.

Building Design

Design Overview

The conceptual rendering (**Figure 9**) illustrates a proposed six-storey mixed-use building with an L-shaped footprint of approximately 707.17 square metres (approximately 7,600 square feet). The building is arranged to address the street while accommodating residential uses toward the rear of the site.



Figure 9 - Conceptual Perspective Viewed from Lundy's Lane (MZE Architects)

The street-facing portion of the ground floor includes a commercial unit and an amenity area, providing active uses along the public sidewalk which contribute to a desirable interface between public and private realms. Large windows along the street frontage improve visibility into the ground-floor spaces and further strengthen the building's relationship with the street. An awning is provided along the frontage to offer weather protection and to further define the ground-floor presence, and also provides for a human-scaled street wall. Both the commercial unit and the amenity space are directly accessible from the municipal sidewalk.

The rear "wing" of the building contains the residential components at grade, including the main lobby, vestibule, mail room, elevator, stairwell, and several ground-floor residential units. These elements are accessed separately from the commercial space via the parking area located at the rear of the building (see **Figure 10**), allowing for distinct residential and commercial access points.



Figure 10 - Ground Floor Plan (MZE Architects)

Floors two through six are dedicated to residential units. Stairwells are located at each end wall of the building (see **Figure 11**), with stair and elevator cores extending above the roofline to add modest variation to the building form.



Figure 11 – Floor plan for levels 2-6

The exterior design features a palette of neutral colours with coloured accents, varied materials, and large window openings. Together, these elements provide visual interest while maintaining a cohesive appearance consistent with the surrounding context.

Design Analysis

The proposed building has been designed to support intensification objectives while respecting the existing built context along Lundy's Lane. The six-storey height is appropriate for a planned mixed-use corridor and contributes to the efficient use of land and infrastructure while supporting the evolution of the streetscape.

The building massing incorporates compatibility measures intended to integrate the development with surrounding properties. The proposed 6-story building is located centrally on the site, providing a larger setback to adjacent parcels and ensuring a gradual transition in scale. While the site does not directly abut low-density residential uses, the primary interfaces remain existing two-storey motel buildings, which provide an effective transition between the proposed development and the broader area.

Façade articulation and a clearly defined building base are used to reduce the perceived scale of the building and provide visual interest. Variations in materials, colours, and architectural detailing break down the massing and contribute to a cohesive yet inconspicuous appearance that blends within the varied character of the Lundy's Lane corridor.

At grade, the building incorporates active uses and large window openings along the street-facing façade to reinforce a pedestrian-scaled interface and support street-level activity. A continuous canopy defines the ground floor, enhances pedestrian comfort, and contributes to a more human-scaled streetscape.

Overall, the proposed building supports intensification in an appropriate corridor location while providing a built form that is compatible with its surroundings. The combination of appropriate height, massing, articulation, and a pedestrian-oriented ground floor results in a development that enhances the streetscape and contributes positively to the ongoing evolution of Lundy's Lane.

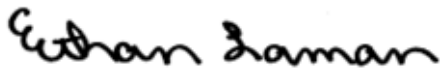
CONCLUSION

The proposed development consists of the adaptive re-use of an existing motel for permanent residential purposes and the construction of a new six-storey mixed-use building, together with associated parking and landscape improvements. The development will result in the creation of 137 purpose-built rental housing units anticipated to be affordable for low- and moderate-income households, as well as approximately 130 square metres of ground-floor commercial space.

The proposal provides intensified residential development while maintaining and reinforcing the commercial character of the Lundy's Lane corridor. The site layout and building design reflect established urban design principles by prioritizing a strong street presence, active ground-floor uses, minimized visual impact of parking, and a pedestrian-oriented public realm.

Overall, the development supports the City's objectives related to intensification and the provision of affordable rental housing, while contributing positively to the evolving urban design vision for Lundy's Lane.

Prepared and submitted by,

A handwritten signature in black ink that reads "Ethan Laman". The signature is written in a cursive, slightly slanted style.

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