

ADDITION

8205 Catalina Street, Niagara Falls, ON

GENERAL NOTES:

ALL WORK IS TO BE CARRIED OUT IN CONFORMANCE WITH THE 2024 ONTARIO BUILDING CODE, LATEST EDITION.

INSTALLATION OF BUILDING SERVICES ARE TO BE COORDINATED WITH UTILITY PROVIDERS AND AUTHORITIES HAVING JURISDICTION.

GENERAL CONTRACTOR AND ALL SUB-TRADES ARE TO VERIFY DIMENSIONS, DETAILS AND SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

CONTRACTOR TO CONFIRM REQUIRED DIMENSIONS PRIOR TO ORDERING ALL PREFABRICATED MATERIALS AND BUILDING COMPONENTS.

ALL PRODUCTS ARE TO BE INSTALLED OR APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND IN CONFORMANCE WITH THE 2024 BUILDING CODE, LATEST EDITION.

WHERE ANY MATERIAL OR PRODUCT IS TO BE SUBSTITUTED THE DESIGNER IS TO BE NOTIFIED PRIOR TO IMPLEMENTING ANY CHANGE.

EXISTING CONDITIONS:

GENERAL CONTRACTOR AND ALL SUB-TRADES ARE TO VERIFY DIMENSIONS, DETAILS AND SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

CONFIRM WITH OWNER PRIOR TO DISPOSAL OF ALL EXISTING MATERIALS

THE PROPOSED SCOPE OF WORK DOES NOT INVOLVE CHANGES TO THE EXISTING STRUCTURE UNLESS NOTED ON THESE DRAWINGS. WHERE SITE CONDITIONS REQUIRE SUCH CHANGES THE DESIGNER MUST BE INFORMED PRIOR TO ANY STRUCTURAL ALTERATION WORK.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSESS EXISTING STRUCTURAL CONDITIONS THROUGHOUT THE BUILDING. WHERE THERE IS A DISCREPANCY BETWEEN THESE DRAWINGS AND ACTUAL EXISTING CONDITIONS THE CONTRACTOR SHALL REPORT THE DISCREPANCY TO THE DESIGNER PRIOR TO COMMENCING ANY STRUCTURAL WORK.

THE DESIGNER DOES NOT WARRANT THE ACCURACY OF THE EXISTING BUILDING CONDITIONS, DIMENSIONS OR MATERIALS REPRESENTED ON THESE DRAWINGS. DRAWINGS SHOWING EXISTING CONDITIONS ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXTENTS OF DEMOLITION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER PRIOR TO PROCEEDING WITH WORK.

ALL DIMENSIONS ARE ± AND SHALL BE VERIFIED ON SITE BY THE CONTRACTOR AND/OR SUBCONTRACTORS PRIOR TO ORDERING MATERIALS AND PROCEEDING WITH WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER.

PERMITS:

NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED OR DEMOLISHED UNLESS A PERMIT FOR THE WORK HAS BEEN ISSUED BY THE CHIEF BUILDING OFFICIAL.

AT EACH STAGE OF CONSTRUCTION THE CONSTRUCTOR OR OTHER APPOINTED PERSON SHALL NOTIFY THE CHIEF BUILDING OFFICIAL, IF APPLICABLE TO THE PROJECT (REFER TO OBC DIVISION C, SECTION 1.3.5.1), AND AS REQUIRED IN THE APPROVED PERMIT DOCUMENTS, ISSUED BY THE LOCAL MUNICIPAL BUILDING DEPARTMENT.

ELECTRICAL INSTALLATION, REPAIR AND REPLACEMENT WORK SHALL BE DONE IN COMPLIANCE WITH THE ONTARIO ELECTRICAL SAFETY CODE. IT IS THE CONSTRUCTOR'S RESPONSIBILITY TO OBTAIN ALL/ANY PERMIT UNDER THE ELECTRICAL SAFETY AUTHORITY (ESA).

IF ADVERSELY AFFECTED, HVAC SYSTEMS SHALL BE ASSESSED AND CLEANED BY A QUALIFIED PERSON IN ACCORDANCE WITH INDUSTRY STANDARDS FOR THE ASSESSMENT. SHOULD PARTIAL, SUBSTANTIAL OR COMPLETE REMOVAL AND REPLACEMENT BE DEEMED REQUIRED, THE LOCAL MUNICIPAL BUILDING DEPARTMENT MAY REQUIRE A BUILDING PERMIT FOR REPAIR.

ANY TREE(S) THAT FALL WITHIN THE CONSTRUCTION AREA, SHALL BE PROTECTED IN CONFORMANCE WITH THE APPLICABLE REGULATIONS OR BY-LAWS, AS GOVERNED BY THE MUNICIPALITY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY REQUISITE PERMITS. PRIOR TO ACCESSING A TREE PROTECTION ZONE, DAMAGING OR REMOVING A TREE(S), THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS.

DRAWINGS:

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THESE DRAWINGS ARE NOT TO BE SCALED TO DETERMINE DIMENSIONS FOR DESIGN OR CONSTRUCTION.

THE DESIGNER DOES NOT TAKE RESPONSIBILITY FOR ANY PASSED OR PRESENT WORK CARRIED OUT IN THE ABSENCE OF A BUILDING PERMIT ISSUED BY THE LOCAL BUILDING AUTHORITY.

BOSK - DESIGN

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rick.obrien@rogers.com

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Client
Home Owner

Project Name
Addition

8205 Catalina St.
Niagara Falls, ON

Drawing Title

Title Page

DATE: 01/10/2025
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A0.01

CONSTRUCTION SYMBOLS LEGEND

WATER METER	
HOT WATER TANK	
TANKLESS WATER HEATER	
SUMP PIT	
WATER SOFTENER	
FLOOR DRAIN	
HOSE BIB	
EXHAUST FAN	
RADIATOR	
SUPPLY AIR VENT	
RETURN AIR VENT	
RETURN AIR RISER	
SOIL VENT PIPE	
ELECTRICAL PANEL	
THERMOSTAT	
SMOKE ALARM (INTERCONNECTED)	
SMOKE ALARM (STAND ALONE)	
SMOKE ALARM (BATTERY OPERATED)	
CARBON MONOXIDE ALARM	
HYDRO METER	
GAS METER	
AIR CONDITIONER	
WOOD POST ASSEMBLY	
SOLID WOOD POST	
H.S.S. COLUMN	
STEEL POST	
STEEL PLATE	
DOOR MARKER	
DATUM MARKER	
FINISH MATERIAL MARKER	
WINDOW MARKER	
SOLAR LIGHT	

DRAWING INDEX:

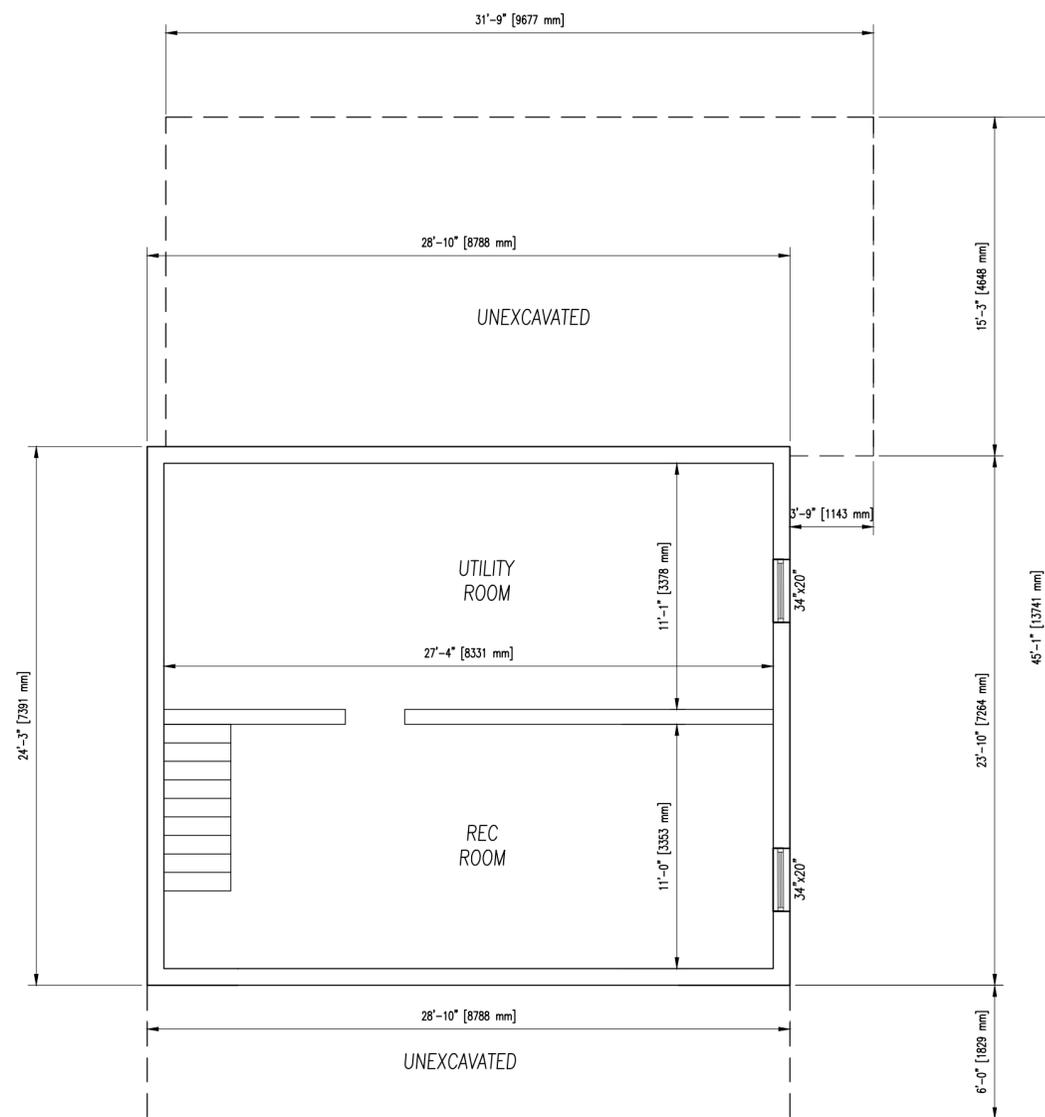
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A1.01 - FLOOR PLANS
A1.02 - FLOOR PLANS
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A1.04 - FLOOR PLANS
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ANNOTATION LEGEND

BOUNDARY LINE	
BUILDING BREAKLINE	
ROOF LINE	
STRUCTURAL MEMBER	
2x4 INTERIOR WALL	
2x6 INTERIOR WALL	
WALL TO BE REMOVED	
BULKHEAD/CEILING LINE	
BUILDING SECTION MARKER	
BUILDING DETAIL MARKER	
INTERIOR ELEVATION MARKER	
WALL ASSEMBLY MARKER	

ABBREVIATION LEGEND

⊙ AT
A.F.F. ABOVE FINISHED FLOOR
B.B.O. BEAM BY OTHERS
BOT. BOTTOM
CL. CLOSET
COL. CONCRETE
CONC. COLUMN
DIM. DIMENSION
DN. DOWN
DWG. DRAWING
EA. EACH
EQ. EQUAL
FDN. FOUNDATION
FT. FEET
F.F.L. FINISHED FLOOR LEVEL
FLR. FLOOR
FTG. FOOTING
FURN. FURNACE
H.B. HOSE BIB
HRV HEAT RECOVERY UNIT
HVAC HEATING, VENTILATION & AIR CONDITIONING
H.S.S. HOLLOW STRUCTURAL SECTION
JST. JOIST
MAX. MAXIMUM
MIN. MINIMUM
MIL. .001 INCH
No./# NUMBER
O.B.C. ONTARIO BUILDING CODE (LATEST EDITION)
O.C. ON CENTER
POLY. POLYTHENE
P.T. PRESSURE TREATED
REQ'D. REQUIRED
T/O TOP OF
TYP. TYPICAL
U/S UNDERSIDE
W/ WITH
W.I.C. WALK IN CLOSET
Z STEEL ANGLE



EXISTING BASEMENT PLAN
SCALE: $\frac{1}{16}'' = 1'-0''$

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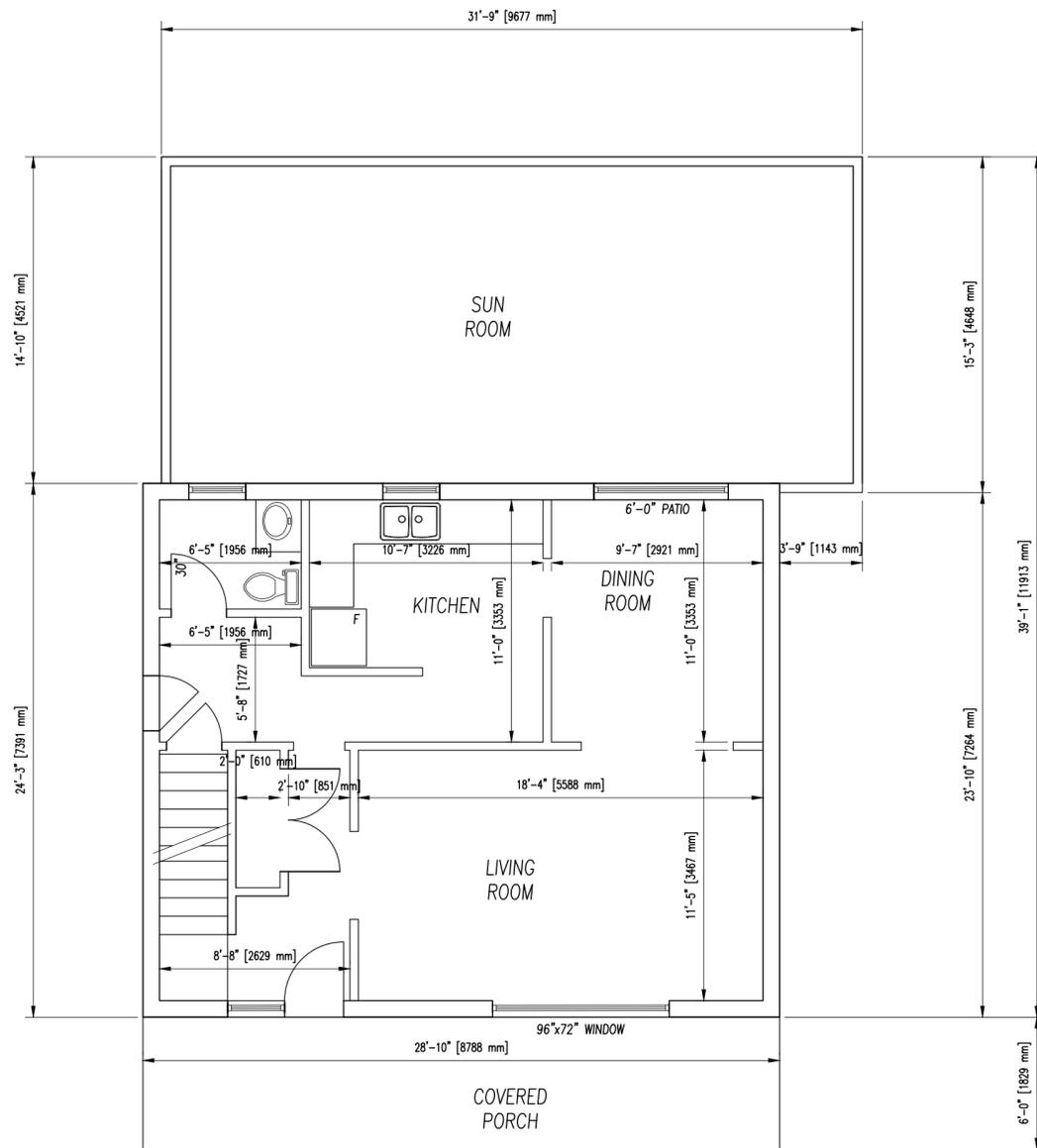
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Floor Plans

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A1.01



EXISTING MAIN FLOOR PLAN

SCALE: $\frac{1}{8}'' = 1'-0''$

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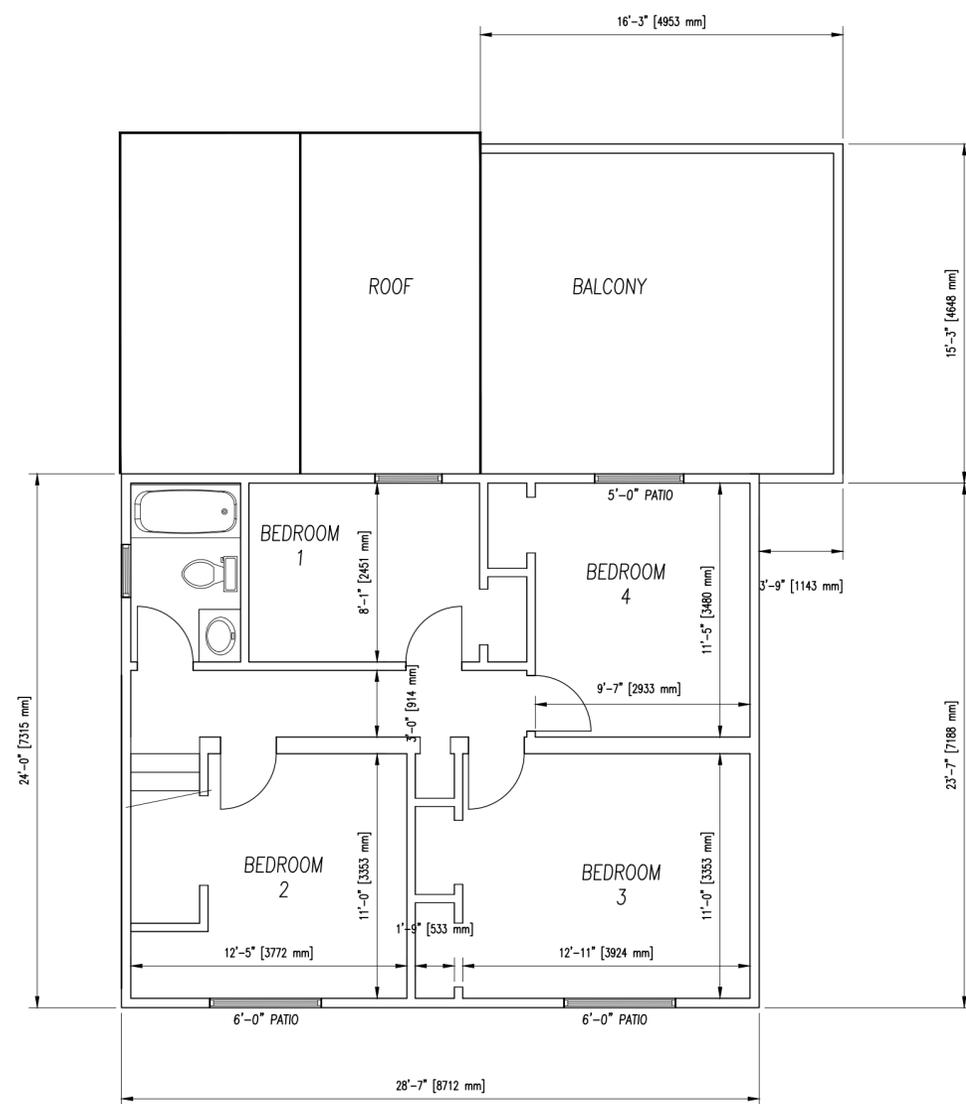
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EXISTING SECOND FLOOR PLAN

SCALE: $\frac{1}{8}" = 1'-0"$

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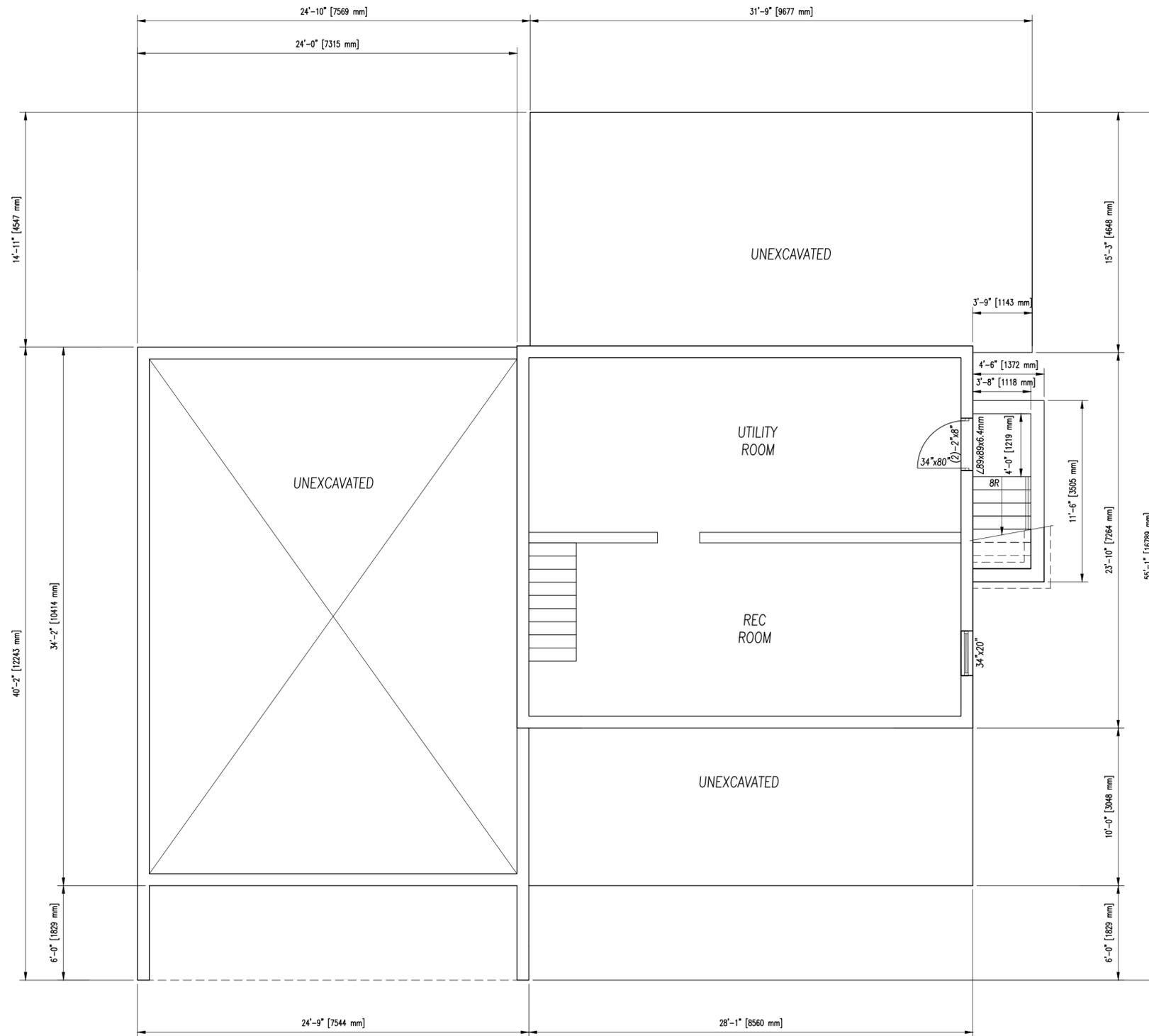
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A1.03



PROPOSED BASEMENT PLAN
 SCALE: 1/8" = 1'-0"

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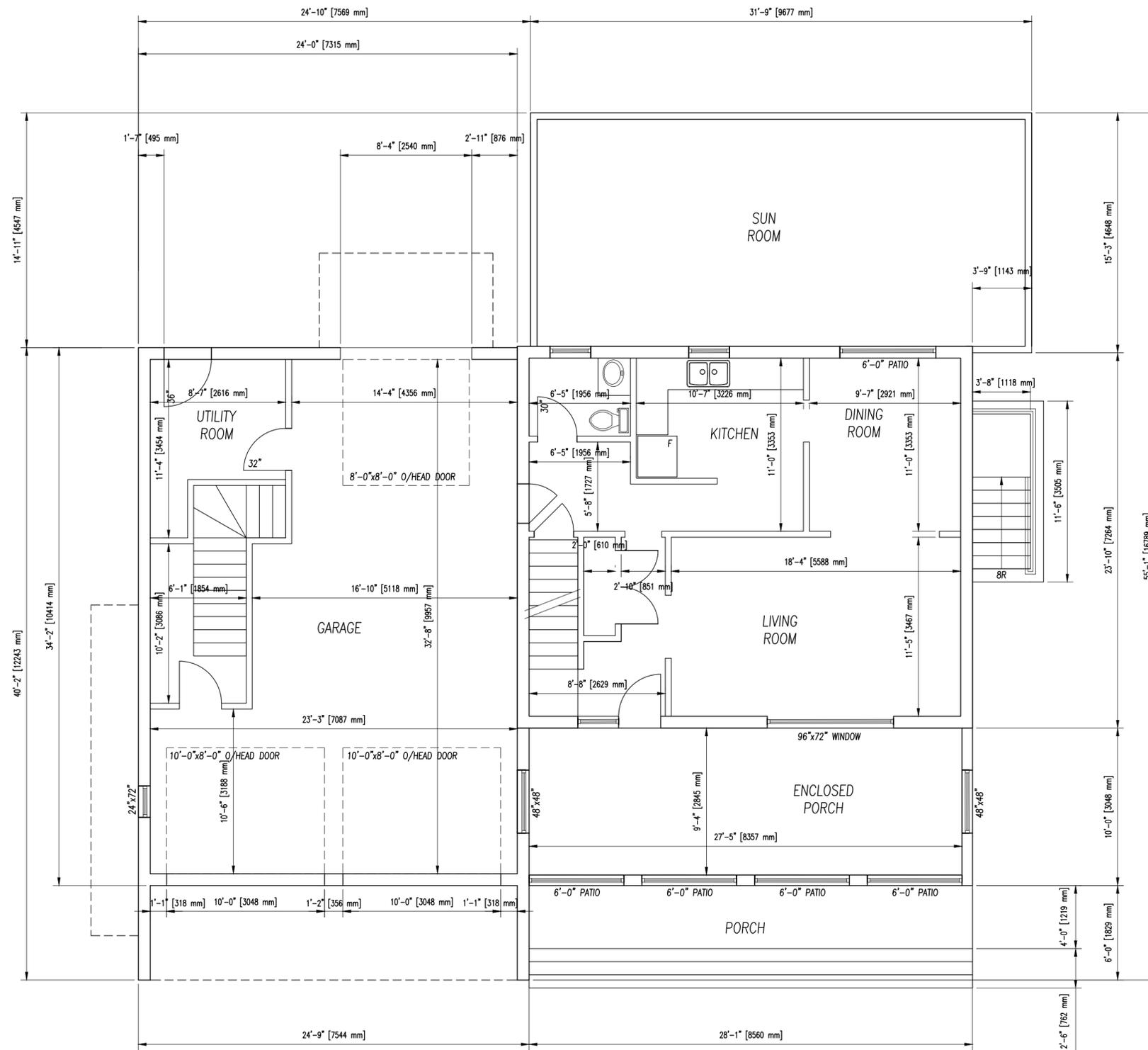
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A1.04



PROPOSED MAIN FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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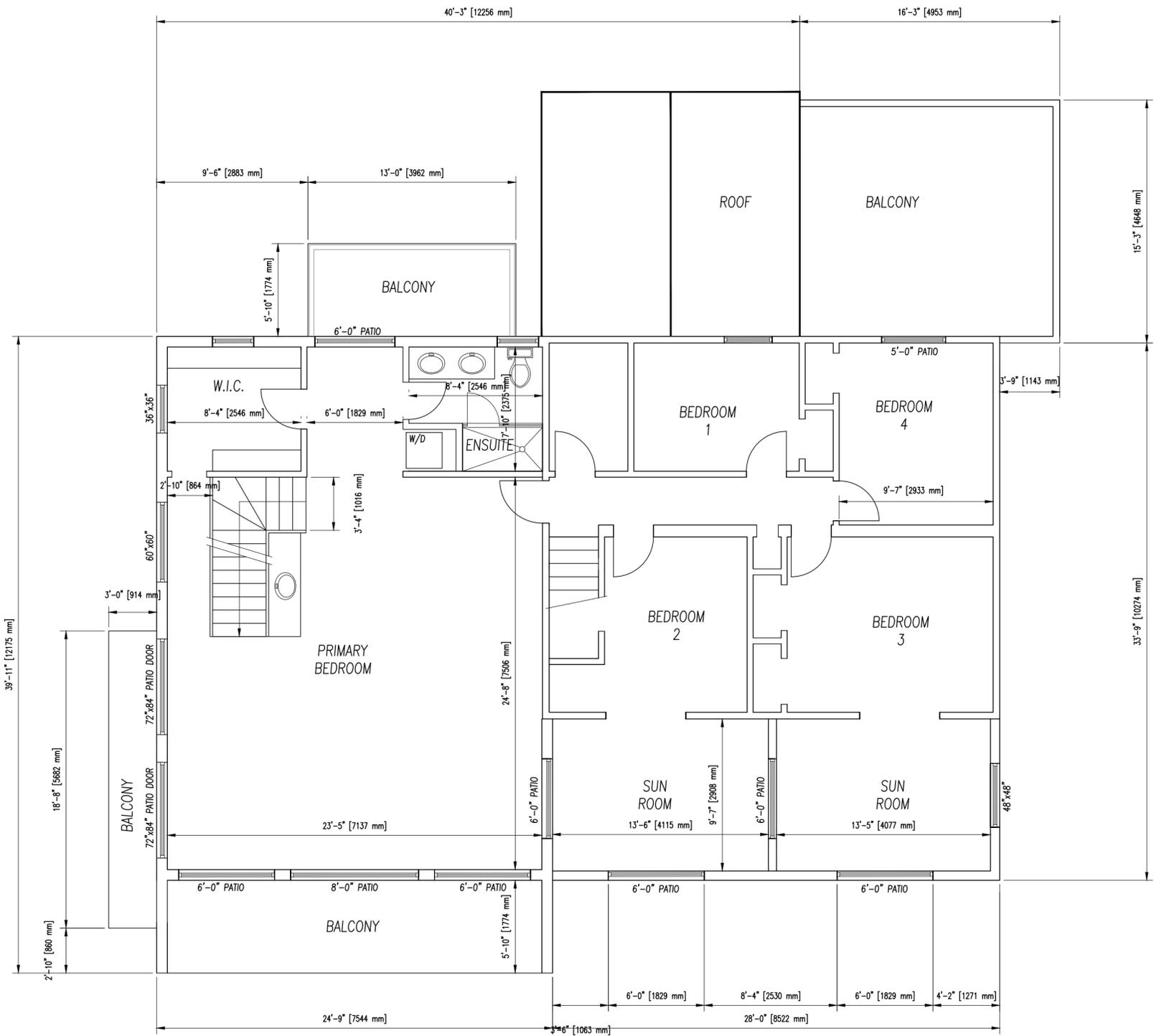
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PROPOSED SECOND FLOOR PLAN
 SCALE: $\frac{1}{8}'' = 1'-0''$

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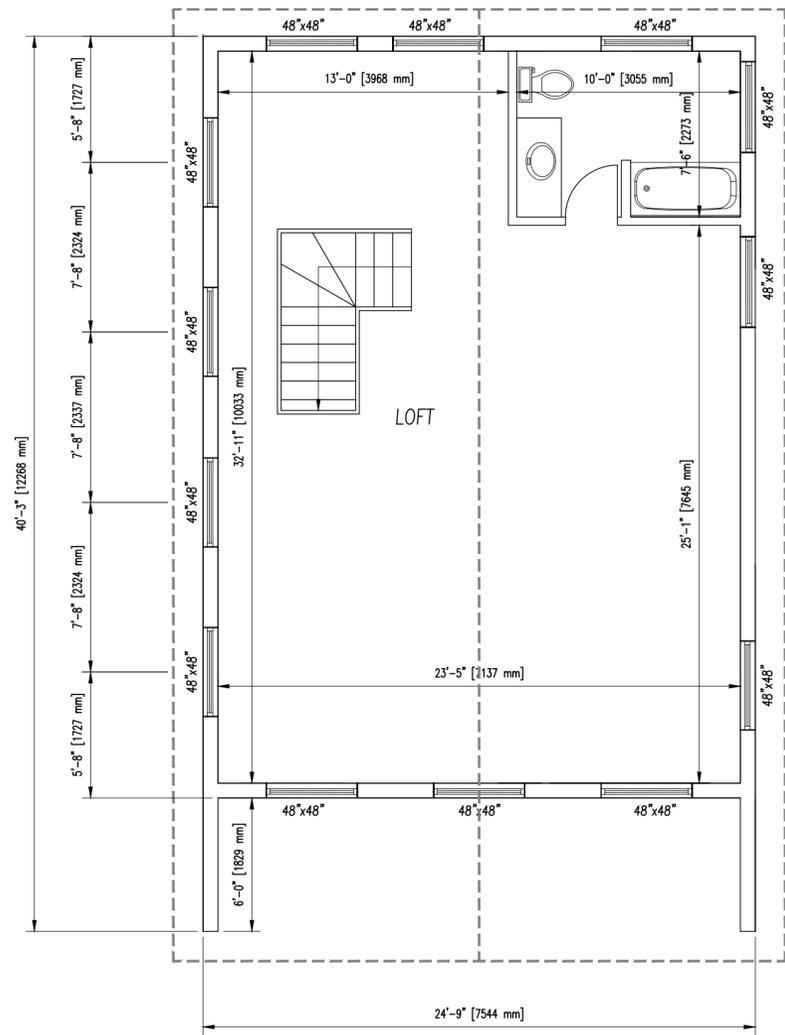
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PROPOSED THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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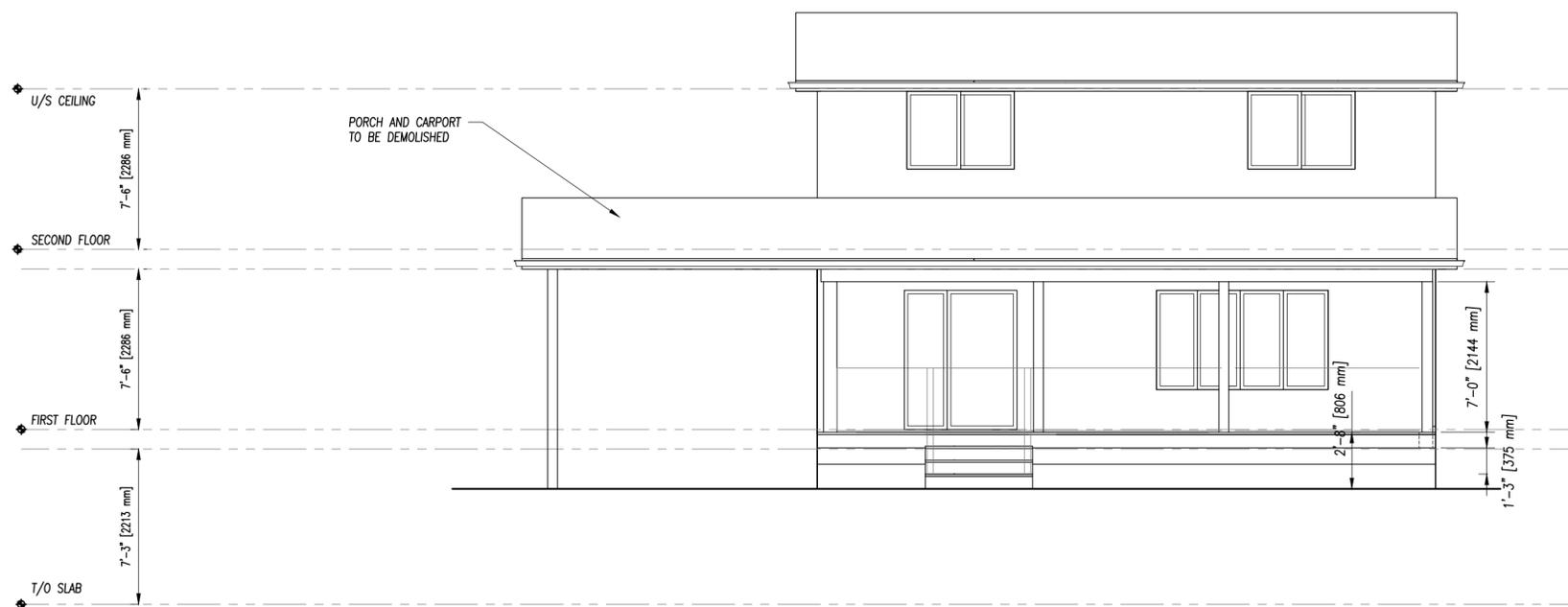
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PROPOSED FRONT ELEVATION
SCALE: $\frac{1}{4}'' = 1'-0''$



EXISTING FRONT ELEVATION
SCALE: $\frac{1}{4}'' = 1'-0''$

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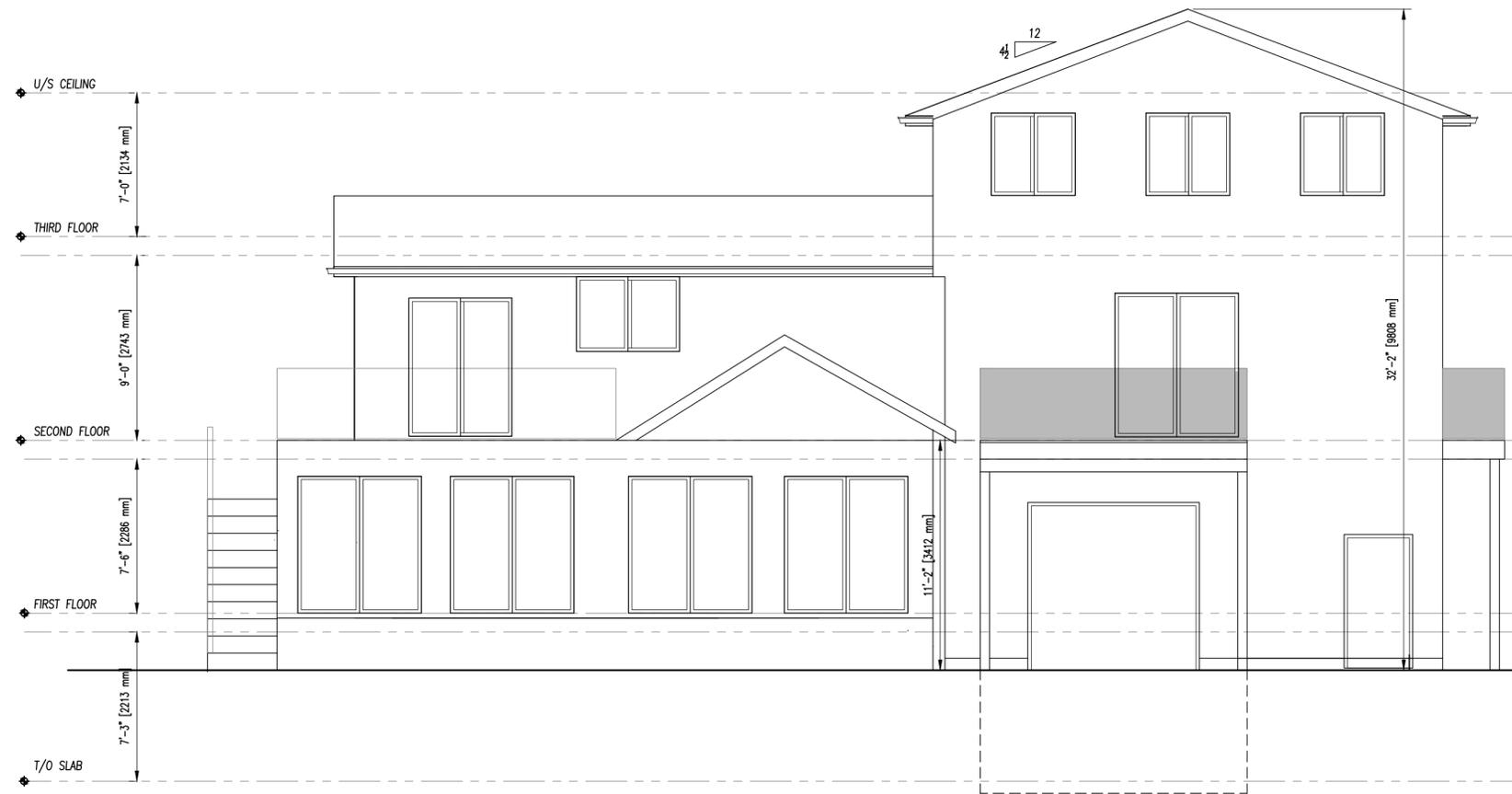
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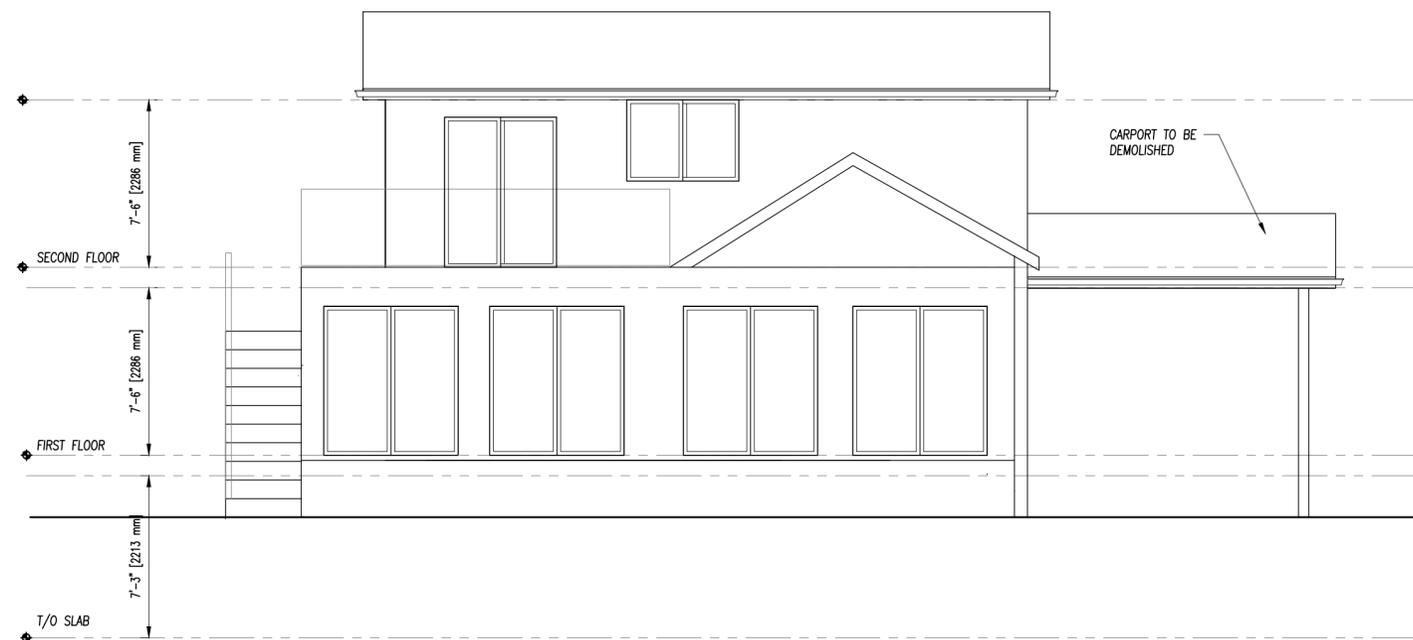
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A2.01



PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"

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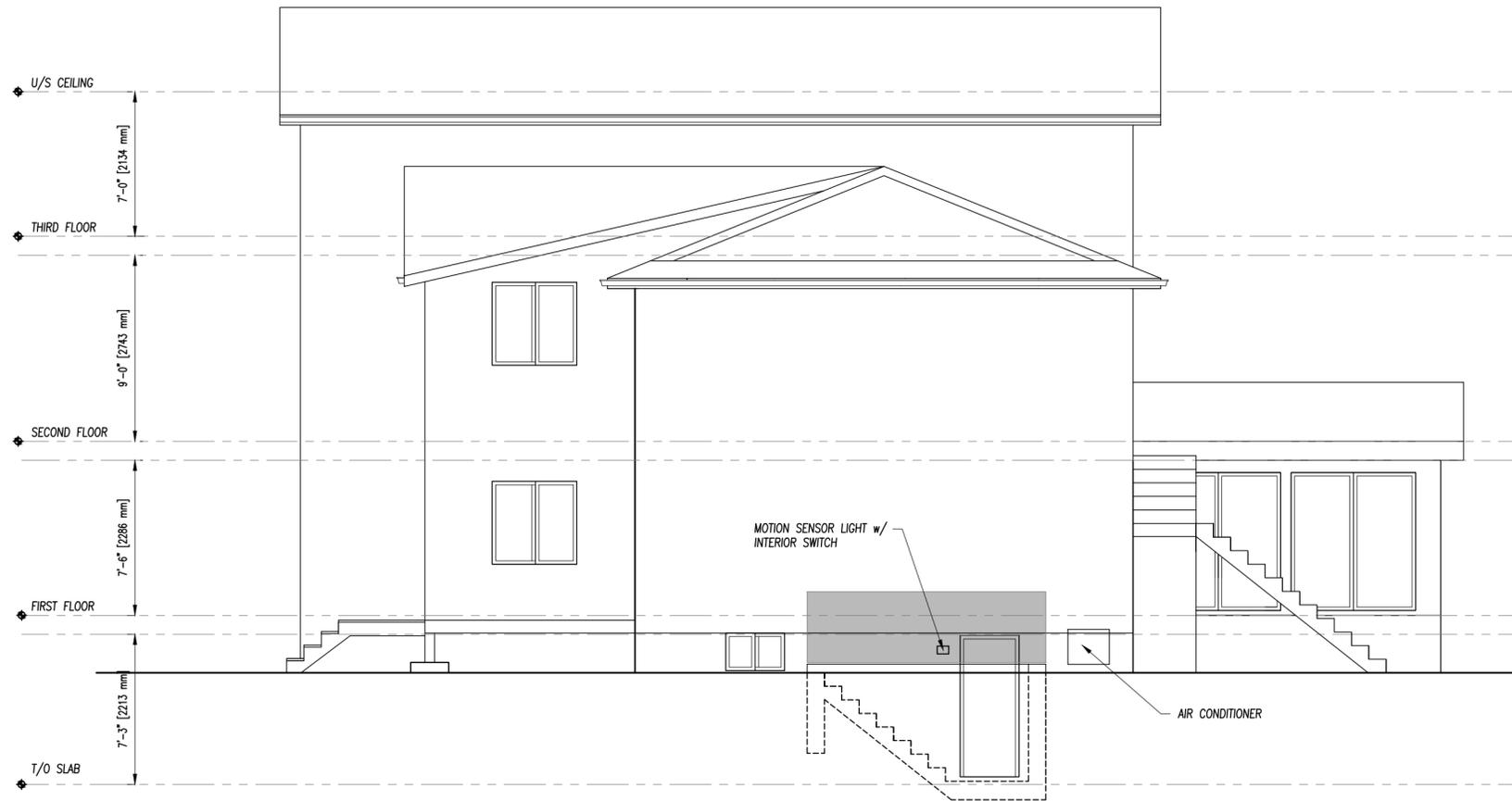
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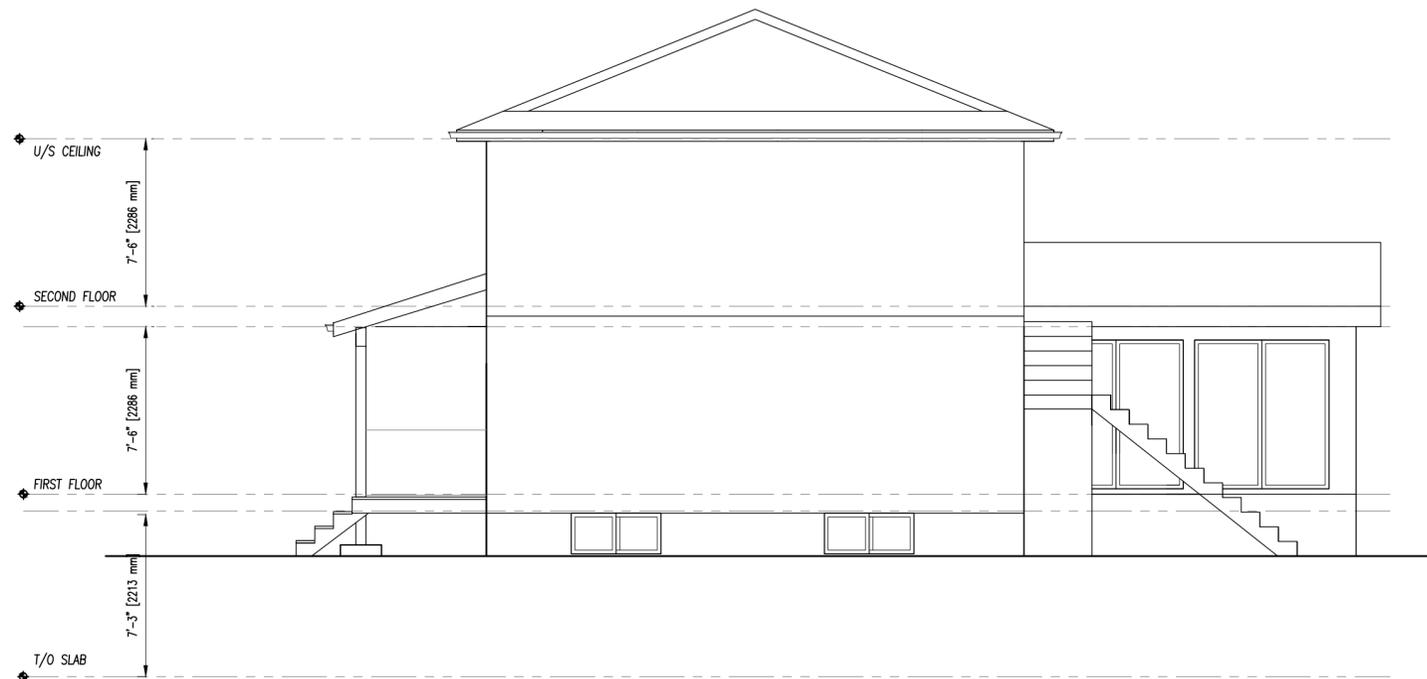
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PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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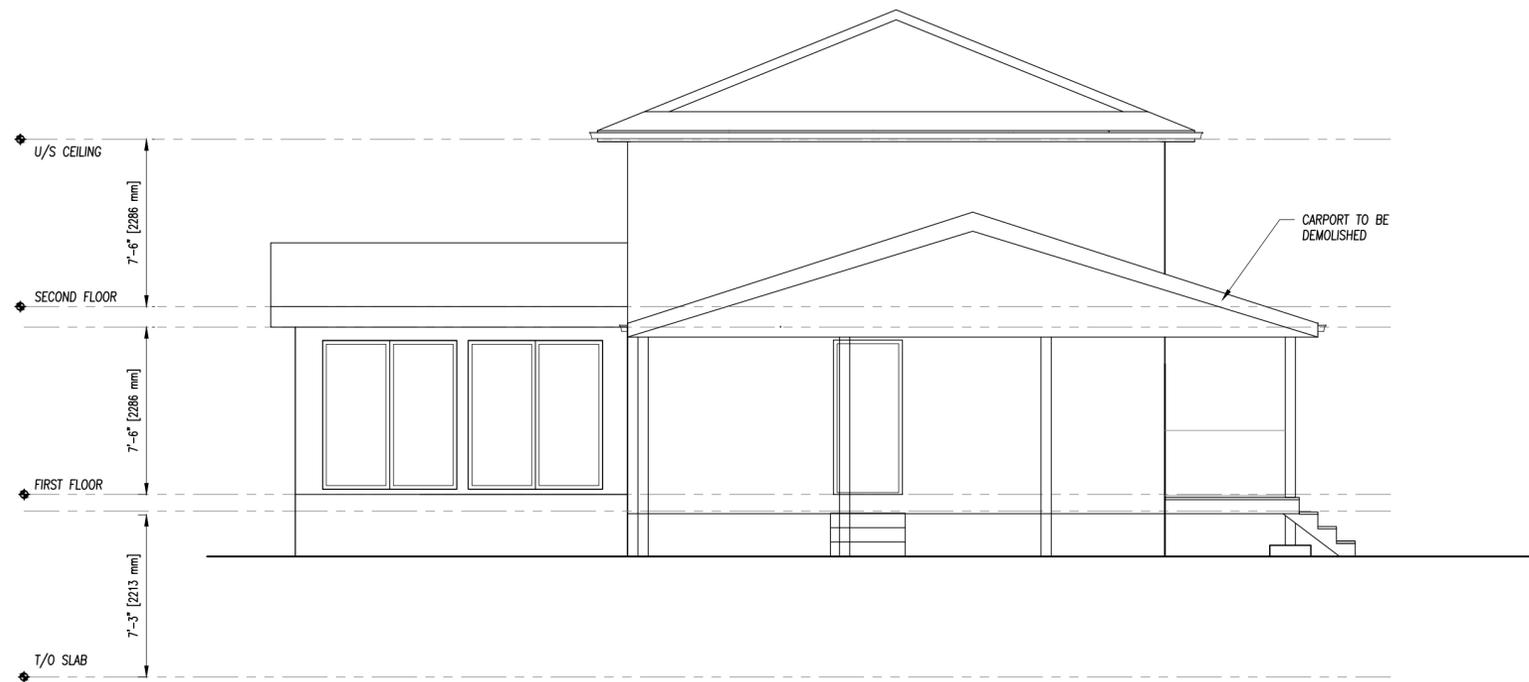
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PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"

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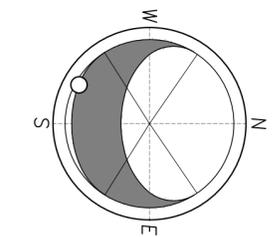
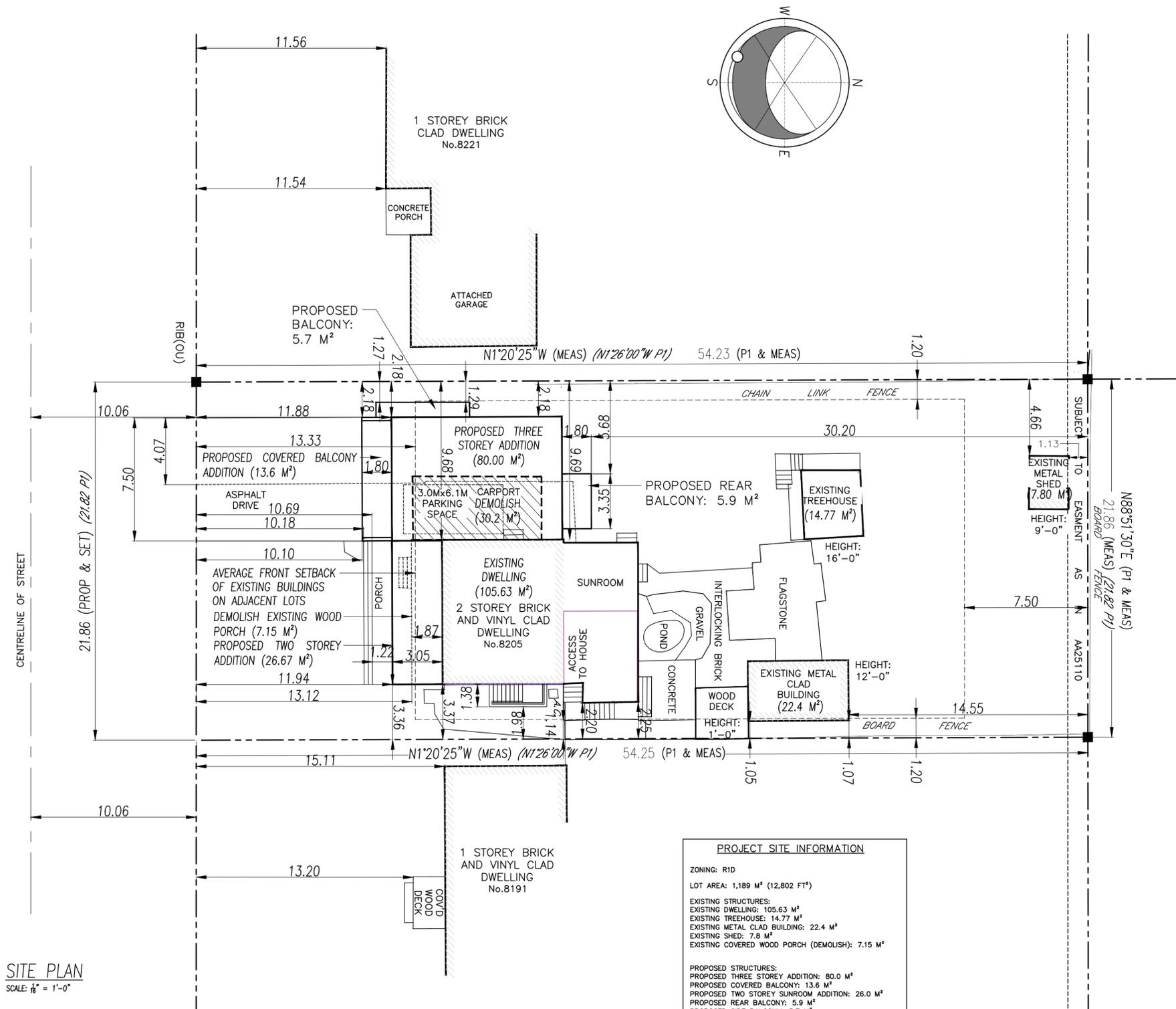
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A2.04

CATALINA STREET



SITE PLAN
SCALE: 1/8" = 1'-0"

PROJECT SITE INFORMATION	
ZONING:	R1D
LOT AREA:	1,189 M ² (12,802 FT ²)
EXISTING STRUCTURES:	
EXISTING DWELLING:	105.63 M ²
EXISTING TREEHOUSE:	14.77 M ²
EXISTING METAL CLAD BUILDING:	22.4 M ²
EXISTING SHED:	7.8 M ²
EXISTING COVERED WOOD PORCH (DEMOLISH):	7.15 M ²
PROPOSED STRUCTURES:	
PROPOSED THREE STOREY ADDITION:	80.0 M ²
PROPOSED COVERED BALCONY:	13.6 M ²
PROPOSED TWO STOREY SUNROOM ADDITION:	26.0 M ²
PROPOSED REAR BALCONY:	5.9 M ²
PROPOSED SIDE BALCONY:	5.7 M ²
EXISTING TOTAL LOT COVERAGE:	157.75 M ² (13.2%)
PROPOSED TOTAL LOT COVERAGE:	270.20 M ² (22.72%)
PROPOSED LANDSCAPED OPEN SPACE:	863.44 M ² (72.6%)
PROPOSED HEIGHT:	32'-2" (9808mm)

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Site Plan

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