

CITY OF NIAGARA FALLS

By-law No. 2026-xxx (Draft)

This by-law provides for the adoption of Amendment No. ____ to the City of Niagara Falls Official Plan.

THE COUNCIL OF THE CORPORATION OF THE CITY OF NIAGARA FALLS IN ACCORDANCE WITH THE PLANNING ACT, 1990, AND THE REGIONAL MUNICIPALITY OF NIAGARA ACT, HEREBY ENACT AS FOLLOWS:

1. Amendment No. ____ to the City of Niagara Falls Official Plan, constituting the attached text and map, is hereby adopted.

Read a First, Second, and Third time; passed, signed and sealed in open Council __ day of _____, 2025.

BILL MATSON, CITY CLERK

JAMES M. DIODATI, MAYOR

OFFICIAL PLAN AMENDMENT NO. ____**PART 1 – PREAMBLE****i. Purpose of the Amendment**

The purpose of the amendment is to redesignate the Subject Land to Residential, Medium Density / *Residential Medium* in the Garner South Secondary Plan and to permit a maximum density of 92 units per hectare for three (3) storey stacked townhouse units.

ii. Location of the Amendment

The amendment applies to the lands shown as ____ on Schedule A3 to the Official Plan – Garner South Secondary Plan.

iii. Details of the Amendment**Map Changes**

Map 1 – Schedule “A3” to the Official Plan – Garner South Secondary Plan has been amended to show Residential Medium Density designation with Special Policy Area ____

Text Change

PART 2, SECTION 13 – SPECIAL POLICY AREAS, is amended by the addition of Subsection 13.____.

iv. Basis of the Amendment

The applicant proposes to construct 51 stacked townhouse dwelling units at a maximum density of 92 units per net hectare.

The Subject Land is designated Residential, Low Density on Schedule A3 to the Official Plan – Garner South Secondary Plan and the proposal is to redesignate the Subject Land to Residential, Medium Density with a special policy area to permit an increase in density.

The amendment meets the intent of the Official Plan as the proposal represents the efficient use of serviced urban land and both transportation and municipal infrastructure have adequate capacity to accommodate the proposal and will assist in achieving the required density in Greenfield Areas.

PART 2 – BODY OF THE AMENDMENT

All of this part of the document entitled PART 2 – BODY OF THE AMENDMENT, consisting of the following text and attached map, constitute Amendment No. ____ to the Official Plan of the City of Niagara Falls.

DETAILS OF THE AMENDMENT

The Official Plan of the City of Niagara Falls is hereby amended as follows:

1. MAP CHANGE

The “Area Affected by this Amendment”, shown on the map attached hereto, entitled “Map 1 to Amendment No. ___”, shall be identified as Residential Medium Density, Special Policy Area ___ on Schedule A3 to the Official Plan – Garner South Secondary Plan.

2. TEXT CHANGE

- a. PART 2, SECTION 13 – SPECIAL POLICY AREAS, is hereby amended by adding the following subsection:

13. ___ SPECIAL POLICY AREA “ ___ ”

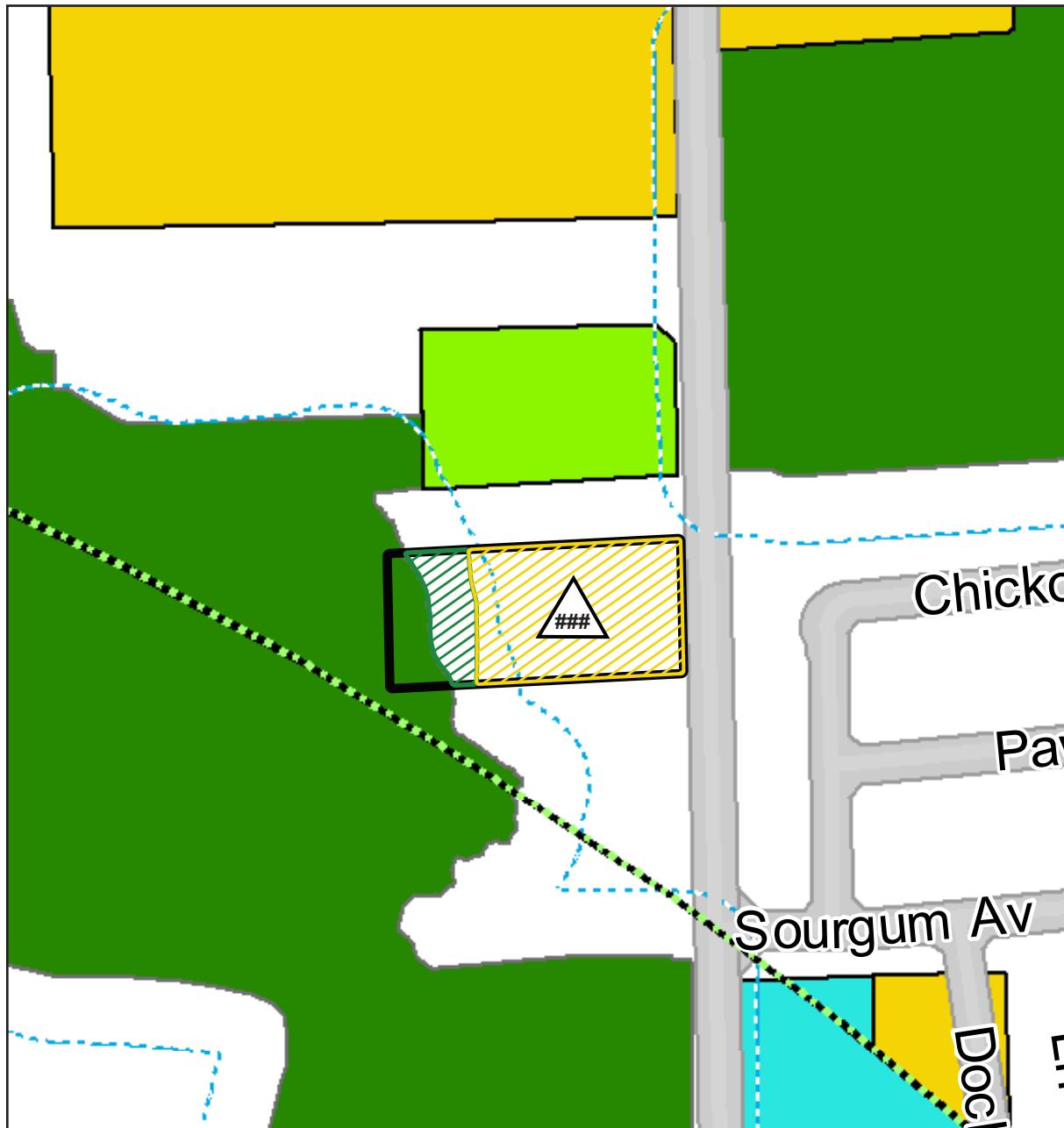
Special Policy Area “ ___ ” applies to approximately 0.55 hectares of land located on the west side of Garner Road, south of McLeod Road and municipally known as 7525 Garner Road. Notwithstanding the policies of Part 5, Section 2.2.3, the lands may be developed with a maximum density of 92 units per hectare.

MAP 1 TO AMENDMENT NO. ### SCHEDULE A3 TO THE OFFICIAL PLAN

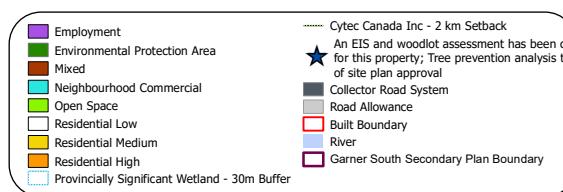
Area to be Redesignated from Residential Low to Environmental Protection Area



Area to be Redesignated from Residential Low to Residential Medium with a Special Policy Area



City of Niagara Falls Official Plan Excerpt from SCHEDULE A3 - GARNER SOUTH SECONDARY PLAN



Note: This Schedule is part of Amendment No. ### to the Official Plan for the City of Niagara Falls and it must be read in conjunction with the written text.